

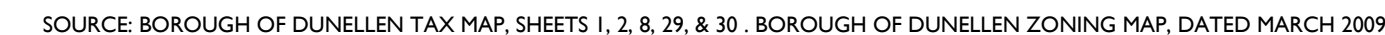


SCALE: 1" = 1,000'±

BOROUGH OF DUNELLEN 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
I	9	REYES, JOSE O	135 FRONT STREET DUNELLEN, NEW JERSEY 08812
I	10	HEISS, JEFFREY	741 SCHOOLHOUSE ROAD BOUND BROOK, NEW JERSEY 08805
I	11	GARCIA, NANCY P	120 JACKSON AVENUE DUNELLEN, NEW JERSEY 08812
I	12	LOPEZ, ANA M.	114 JACKSON AVENUE DUNELLEN, NJ 08812
I	13	CHEN, JIN-GUANG & DESONG	108 JACKSON AVENUE DUNELLEN, NEW JERSEY 08812
I	14	COMMUNIPAW ASSOCIATES LLC	1879 MORRIS AVENUE UNION, NEW JERSEY 07083
I	15.0 I	DAG PROPERTIES, L.L.C.	148 NORTH AVENUE DUNELLEN, NJ 08812
I	15.0 2	NEAL, EARL W. AND DEBORAH	2020 PLAINFIELD AVENUE SOUTH PLAINFIELD, NEW JERSEY 07080
I	16	GUZMAN, ENRIQUE & ADELA	1740 NORTH AVENUE DUNELLEN, NEW JERSEY 08812
I	17	MATHURIN, URBAN & CATHIE	134 NORTH AVENUE DUNELLEN, NEW JERSEY 08812
2	1.01	CHIOFALO, MICHAEL	95 LARK DRIVE SOUTH RIVER, NEW JERSEY 08882
2	1.02	VELASTEGUI, NELSON A & AGUILAR, C	2 HARDY DRIVE BRIDGEWATER, NEW JERSEY 08807
2	1.03	KEYSTONE COMMUNITY LIVING, INC	154 FRONT STREET SOUTH PLAINFIELD, NEW JERSEY 07080
2	18	ZERVOPOULOS, JR, JOHN & LISA	210 NORTH AVENUE DUNELLEN, NEW JERSEY 08812
2	20	ZERVOPOULOS, JR, JOHN & LISA	210 NORTH AVENUE DUNELLEN, NEW JERSEY 08812
2	21	PERRY JAMES PROPERTIES LLC	210 NORTH AVENUE DUNELLEN, NEW JERSEY 08812
86	5.01	FRIENDWELL PLAZA II LLC	2035 ROUTE 27, ROUTE 2150 EDISON, NEW JERSEY 08817
86	5.0 2	VALSTIR, LLC	1075 EASTON AVENUE TWYR1 STE2 SOMERSET, NEW JERSEY 08873



SCALE: 1" = 100'±







SCALE: 1" = 100'±

ZONING RELIEF TABLE			
RELIEF TYPE	CODE SECTION	REQUIRED	PROPOSED
DEVIATION	REDEVELOPMENT PLAN §7.4.4.3.	MAXIMUM DWELLING UNIT DENSITY = 20 UNITS / AC	61 UNITS / AC
VARIANCE	REDEVELOPMENT PLAN §8.3	DECIDUOUS TREES, NATIVE TO NEW JERSEY, SHOULD BE PLANTED APPROXIMATELY 50-FOOT ON-CENTER AND IN RELATION TO BUILDING FACADE. TREES SHALL BE OVER 12 FEET IN HEIGHT; A MINIMUM 3-INCH CALIPER (DBH) AND SHALL BE PLANTED ON THE STREET SIDE OF ANY SIDEWALK.	0 TREES

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 • Fax 201.340.4472

**BLOCK 1, LOT 14  
150 NORTH AVENUE  
BOROUGH OF DUNELLEN  
MIDDLESEX COUNTY, NEW JERSEY**

**C-1**

	REDEVELOPMENT AREA REMAINDER
	REDEVELOPMENT AREA PHASE I
	RA - SINGLE FAMILY RESIDENTIAL
	RB - SINGLE FAMILY AND TWO FAMILY RESIDENTIAL

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:

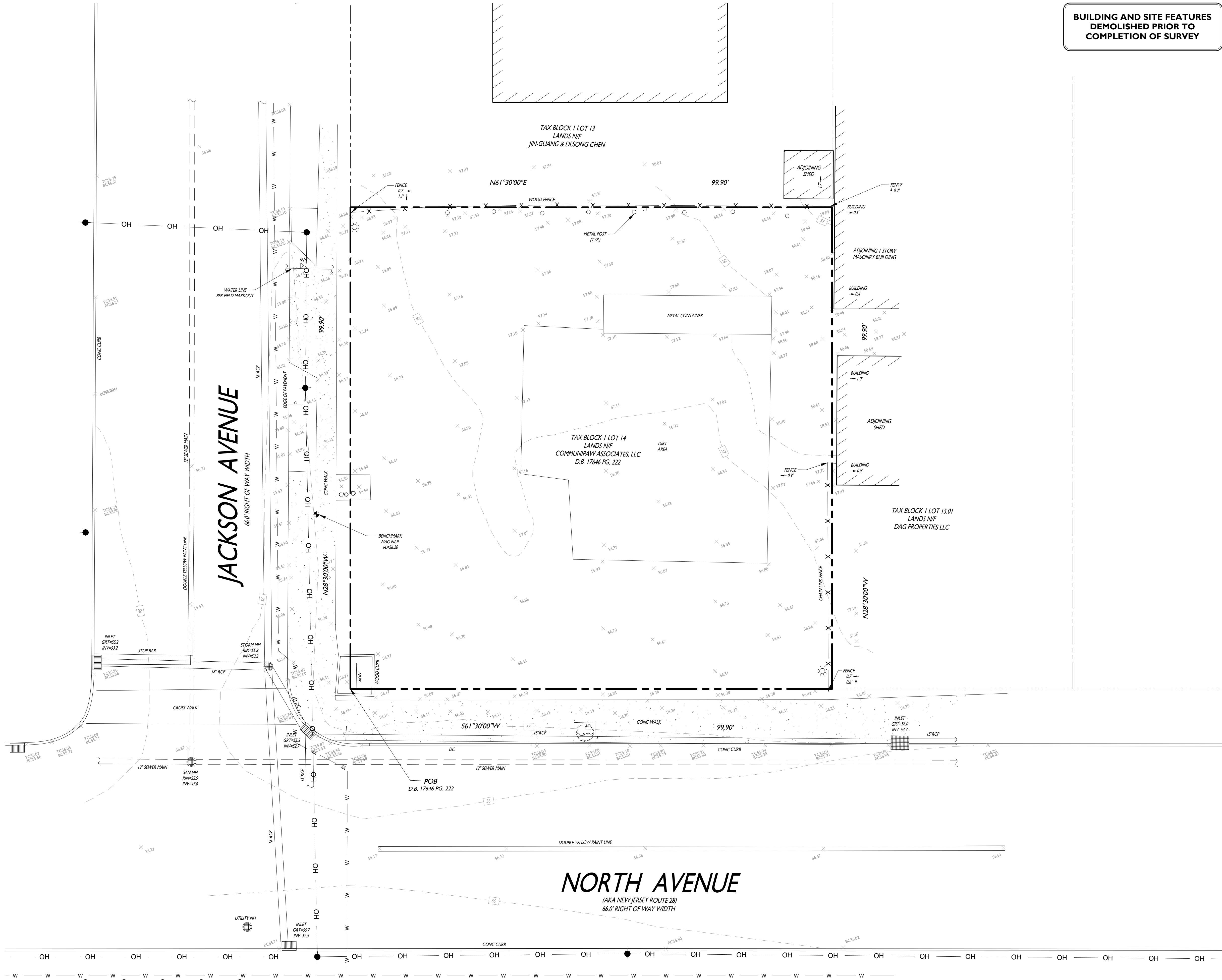
- SURVEY OF PROPERTY PREPARED BY PARKER ENGINEERING & SURVEYING P.C., DATED 04/17/2019
- ARCHITECTURAL PLANS PREPARED BY ALAN FELD ARCHITECT, DATED 03/10/2020
- AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED 05/2018
- KEY MAP OBTAINED FROM UNITED STATES GEOLOGIC SURVEY MAP, PLAINFIELD QUADRANGLE, NEW JERSEY, 7.5 MINUTE SERIES, DATED 1959
- TAX MAP SHEETS 1, 2, 8, 29 & 30 OBTAINED FROM BOROUGH OF DUNELLEN TAX MAP, DATED 12/2016
- ZONING MAP OBTAINED FROM BOROUGH OF DUNELLEN ZONING MAP, DATED 03/2009

2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
SITE PLAN	C-3
GRADING, DRAINAGE, & UTILITY PLAN	C-4
LIGHTING PLAN	C-5
SOIL EROSION & SEDIMENT CONTROL PLAN	C-6
LANDSCAPING PLAN	C-7
LANDSCAPING DETAILS	C-8
CONSTRUCTION DETAILS	C-9 TO C-12



T:\2021\1525\1525 YULIAN BUILDING - 150 NORTH AVENUE, DUNELLEN, NC\DWG\LOT D.P. 4-2.DWG



BUILDING AND SITE FEATURES  
DEMOLISHED PRIOR TO  
COMPLETION OF SURVEY

SYMBOL



DESCRIPTION

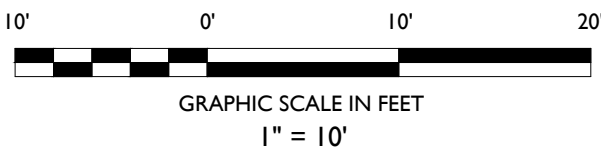
- BUILDING  
CONCRETE SIDEWALK / MAT  
ASPHALT / CONCRETE CURB  
DEPRESSED CURB  
PROPERTY LINE  
ADJACENT PROPERTY LINE  
CHAIN LINK FENCE  
BOARD-ON-BOARD FENCE  
GUIDE RAIL  
MAST ARM LIGHT POLE  
POLE  
LIGHT POLE  
SIGNS  
WATER VALVE  
GAS VALVE  
FIRE HYDRANT  
DRAIN  
INLET  
MAN HOLE  
BOLLARDS  
MONITORING WELL  
SIAMSE CONNECTION  
BOX (ELEC. GAS, ETC.)  
EDGE OF PAVEMENT  
OVERHEAD WIRE  
UNDERGROUND GAS LINE  
UNDERGROUND WATER LINE  
UNDERGROUND ELEC LINE  
MAJOR CONTOUR  
MINOR CONTOUR  
GRADE SPOT SHOT  
TOP OF CURB SHOT  
BOTTOM OF CURB SHOT  
TOP OF WALL SHOT  
BOTTOM OF WALL SHOT  
HANDICAP PARKING  
LANDSCAPING  
ELEC METER  
GAS METER  
WATER METER  
CLEAN OUT  
SURVEY MONUMENT  
IRON PIN  
BENCH MARK

SURVEY NOTES:

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SURVEY NOTES:

1. THE ADDRESS FOR THIS PROPERTY IS 150 NORTH AVENUE PER RECORDS.  
2. THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING MARCH OF 2020 BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE.  
3. THIS SURVEY IS VALID ONLY WHEN AN EMBOSSED SEAL IS AFFIXED HERETO.  
4. THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.  
5. LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES AND ACCESSIBLE MANHOLES. THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.  
6. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), ESTABLISHED VIA RTK GPS OBSERVATIONS.  
7. THE PROPERTY HAS DIRECT ACCESS TO NORTH AVENUE & JACKSON AVENUE.  
8. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C.14 (C458-36.3) AND N.J.A.C. 13:40-5.1(D).



NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefielddeng.com

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PRELIMINARY & FINAL MAJOR SITE PLAN  
**COMMUNIPAW ASSOCIATES, LLC**  
**PROPOSED MIXED-USE  
DEVELOPMENT**

BLOCK 1, LOT 14  
150 NORTH AVENUE  
BOROUGH OF DUNELLEN  
MIDDLESEX COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.  
NEW JERSEY LICENSE No. 48731  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 10' PROJECT ID: T-19325

TITLE:  
**EXISTING CONDITIONS  
PLAN**

DRAWING:


**C-2**



(D) DEVIATION  
(\*) ALL NEW STRUCTURES OR BUILDINGS SHALL BE LOCATED AT THE FRONT PROPERTY LINE TO PROVIDE A CONTINUOUS STREET WALL

(\*) PER SECTION 8.13(1) IN THE DUNELLEN DOWNTOWN REDEVELOPMENT PLAN THE DEVELOPMENT IS EXEMPT FROM OFF-STREET PARKING REQUIREMENTS

10' 0' 10' 20'

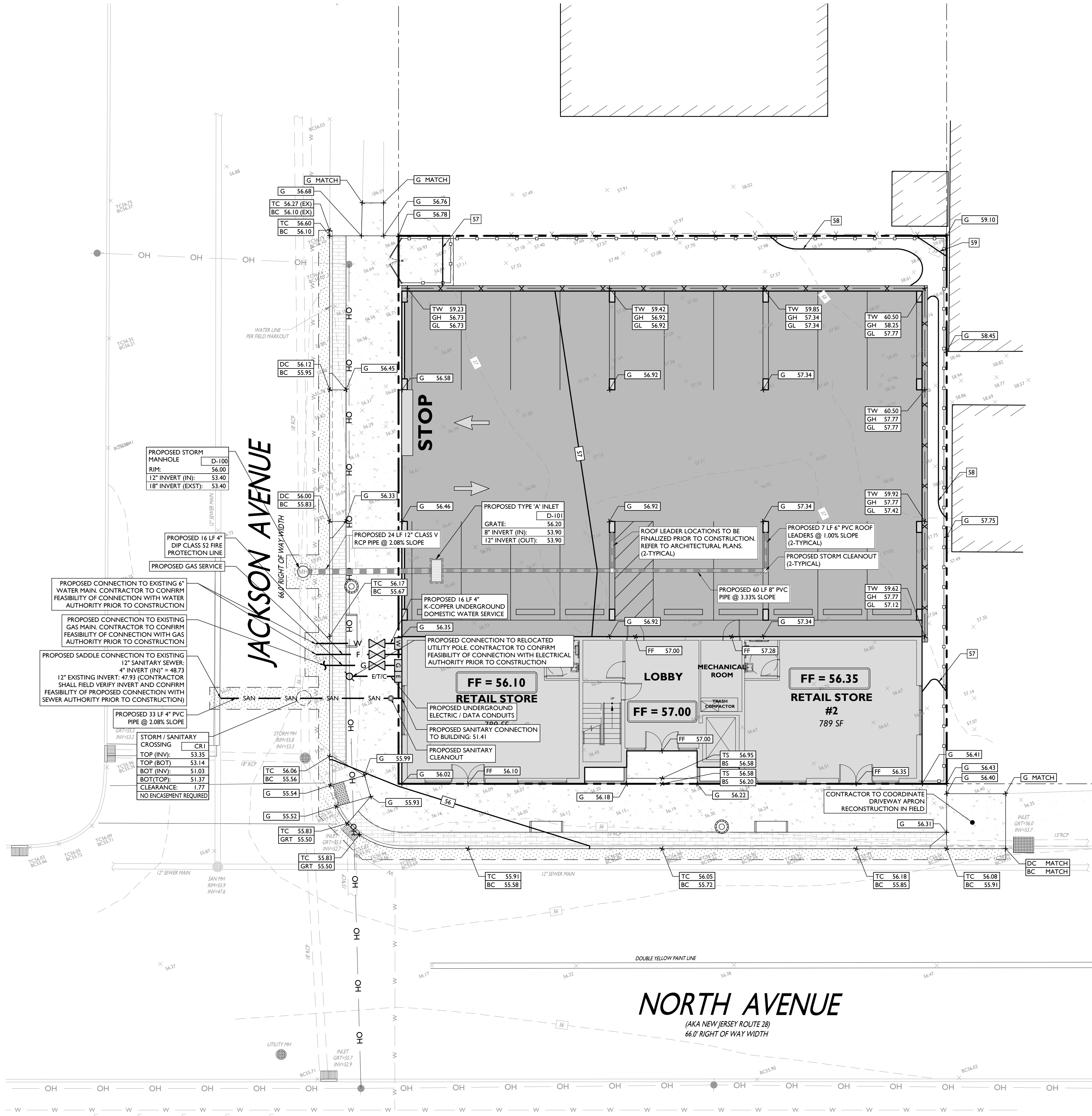


GRAPHIC SCALE IN FEET  
1" = 10'

**C-3**



T:\2019\19325 YLANI BUILDING - 150 NORTH AVENUE, DUNELLEN, NC\DWG\19325-GRD.DWG



#### DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DERIVED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

#### GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CURB GUTTER: 0.50%
  - CONCRETE SURFACES: 1.00%
  - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

#### EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

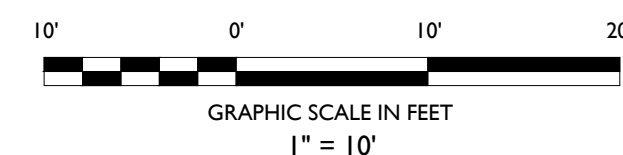
1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

#### SYMBOL

- PROPERTY LINE
- PROPOSED GRADING CONTOUR
- RIDGELINE
- PROPOSED GRADING RIDGELINE
- PROPOSED DIRECTION OF DRAINAGE FLOW
- PROPOSED GRADE SPOT SHOT
- PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
- PROPOSED FLUSH CURB SPOT SHOT
- PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
- PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT
- PROPOSED STORMWATER STRUCTURES
- PROPOSED STORMWATER PIPING
- SAN --- PROPOSED SANITARY LATERAL
- W --- PROPOSED DOMESTIC WATER SERVICE
- E/T/C --- PROPOSED ELECTRICAL/DATA CONDUITS
- OH --- PROPOSED OVERHEAD WIRES
- G --- PROPOSED GAS LINE
- VALVE --- PROPOSED VALVE
- CLEANOUT --- PROPOSED SANITARY CLEANOUT
- UTILITY POLE --- PROPOSED UTILITY POLE

#### ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN ACCESSIBLE PATH, WHERE A 1/4 INCHES CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.



**STONEFIELD**  
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**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**COMMUNIPAW ASSOCIATES, LLC**  
**PROPOSED MIXED-USE DEVELOPMENT**

MATTHEW J. SECKLER, P.E.  
NEW JERSEY LICENSE No. 48731  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 10' PROJECT ID: T-19325

TITLE:

**GRADING, DRAINAGE,  
& UTILITY PLAN**

DRAWING:

**C-4**

Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefielddesign.com

BLOCK I, LOT 14  
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Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472




**NOT APPROVED FOR CONSTRUCTION**

DATE	BY	ISSUE
09/04/2020	NA	BID
07/13/2020	BO	REDEVELOPMENT COMMITTEE
04/27/2020	BO	REDEVELOPMENT COMMITTEE

BOROUGH, COUNTY, & SCD RESUBMISSION  
BOROUGH, COUNTY, & SCD SUBMISSION  
REDEVELOPMENT COMMITTEE

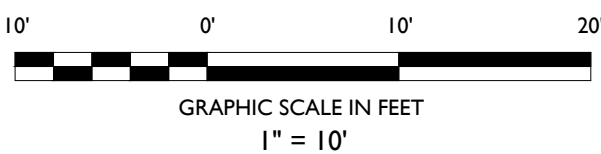
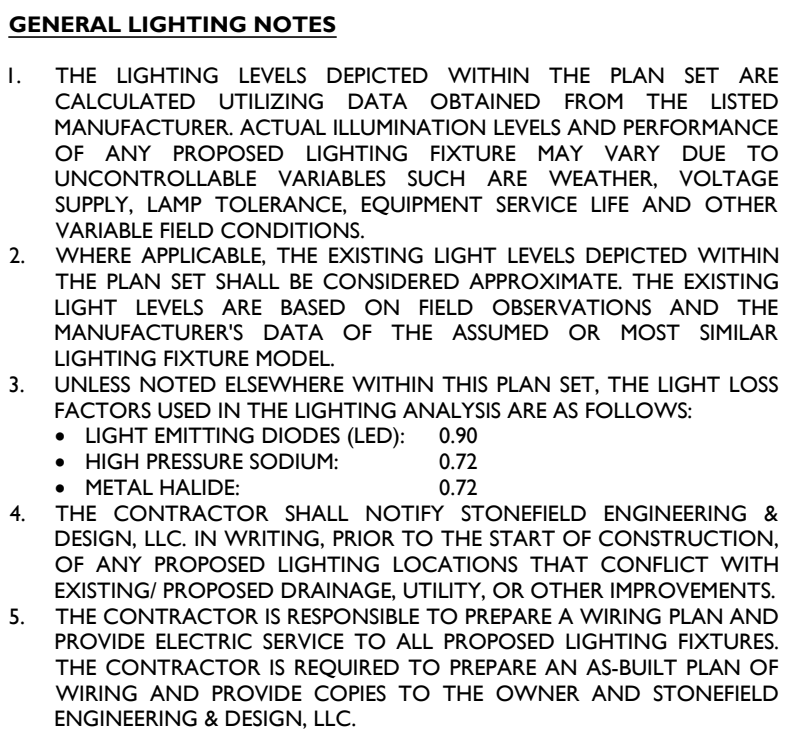




<b><u>SYMBOL</u></b>	<b><u>DESCRIPTION</u></b>
	PROPOSED CALCULATION AREA
	PROPOSED ISOMETRIC LINE
<b>A (XX')</b>	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
<sup>+</sup> X.X	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

DUNELLEN REDEVELOPMENT PLAN REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§8.5 (7)	ADEQUATE AND APPROPRIATE LIGHTING SHALL BE PROVIDED TO PROMOTE A SENSE OF SECURITY IN THE PUBLIC OPEN SPACE	COMPLIES
§8.5 (11)	PUBLIC SIDEWALK AREAS SHALL BE LANDSCAPED AND DURABLY PAVED AND SHALL BE PROPERLY ILLUMINATED WITH SAFE AND ADEQUATE LIGHTING	COMPLIES

(6) SIMILAR FIXTURES ARE PERMITTED. CONTRACTOR SHALL PROVIDE CUT SHEETS AND SPECIFICATIONS PRIOR TO CONSTRUCTION FOR REVIEW AND APPROVAL.



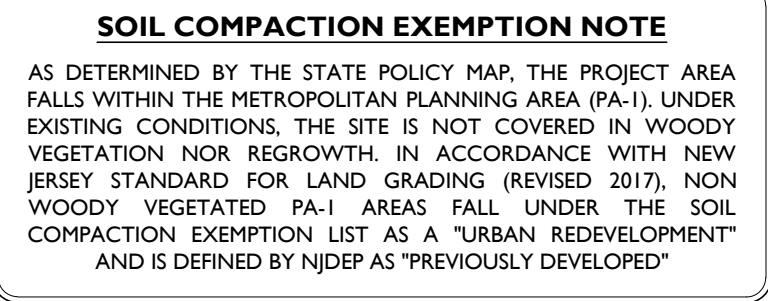
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**BLOCK 1, LOT 14  
150 NORTH AVENUE  
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MIDDLESEX COUNTY, NEW JERSEY**

# C-5





A. TEMPORARY SEEDING AND MULCHING:  
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.

FERTILIZER - APPLY 1 LB/51 LB/5,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE TOPSOIL TO A DEPTH OF 70 TO 90 LB/51 LB/5,000 SF.

SEED - PERENNIAL REYGRASS 500 LB/ACRE (2.3 LBS/1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 AND BETWEEN AUGUST 15 AND OCTOBER 1.

MULCH - UNFROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LB/51 LB/5,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (IE. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).

I.B. B. PERMANENT SEEDING AND MULCHING:  
TOPSOIL - UNFROTTED STRAW OR HAY TO A DEPTH OF 5" (UNSETTLED).  
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.

FERTILIZER - APPLY 1 LB/51 LB/5,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE TOPSOIL TO A DEPTH OF 70 TO 90 LB/51 LB/5,000 SF.

SEED - TURF TYPE TALL FESCUE (BLENDED OF 3 CULTIVARS) 350 LBS/ACRE (8 LBS/1,000 SF) AND OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION).

MULCH - UNFROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LB/51 LB/5,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (IE. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

2. MULCHES - USE STANDARD OF STABILIZATION WITH MULCHES ONLY. PG. 5-1
3. MULCHES - COVER - USE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
4. MULCHES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.
5. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 10 FEET APART. OTHER TYPES OF PLOWS AND OTHER TYPES ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
6. SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
7. BURLAP - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
8. MULCHES - COVERED - WHEN THERE IS A LOT OF LOOSE DIRT GRANULES OR FLAKES FIN ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP THE SURFACE BUT NOT BURIED UNDER THE MULCH. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
9. MULCHES - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

TYPE OF SOIL	BOONTON LOAM (BOGB)
PERCENT OF SITE COVERAGE	19.4%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	20 TO 36 INCHES
SOIL PERMEABILITY	0.06 TO 0.20 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

1. INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE. (3 DAYS)
2. DEMOLISH EXISTING BUILDINGS. ALL EXPOSED SOIL AREAS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY UNTIL THE NEXT PHASE OF CONSTRUCTION BEGINS. (4 WEEKS)
3. ROUGH GRADING AND EXCAVATION. (4 WEEKS)
4. BUILDING CONSTRUCTION AND SITE IMPROVEMENTS. (6 MONTHS)
5. STREETScape IMPROVEMENTS. (4 WEEK)
6. REMOVE SILT FENCE AND SOIL EROSION MEASURES (1 DAY)

TOTAL ESTIMATED TIME = 9 MONTHS

NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.

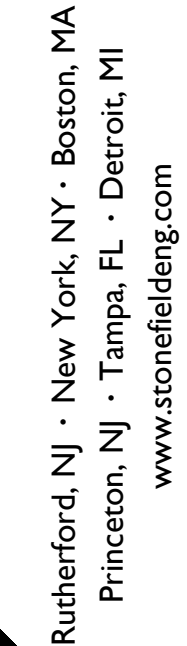
1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



## FREEHOLD SOIL CONSERVATION DISTRICT NOTES

3. THE FOREHOLD SLOPE CONSERVATION DISTRICT SHALL BE NOTIFIED 48-HOUR(48 HOURS) IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY. THE DISTRICT SHALL BE NOTIFIED IN WRITING AND SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
4. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION, THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL REQUIREMENTS.
5. N.J.S.A. 42-24.39, ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND THAT THE SOIL EROSION AND SEDIMENT CONTROL PLAN WILL BE MAINTAINED AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH THE CERTIFIED PLAN.
6. THE DISTRICT, ON A SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL, SHALL BE IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS SHALL BE STABILIZED WITH SEEDING AND MULCH OR COVERED WITH MULCH TO RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2.5 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
8. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, THE DISTRICT SHALL REQUIRE THE APPLICANT TO STABILIZE SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
9. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS. THE SUB-BASE COURSE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
10. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THAT THE DISTRICT AND ALL ACCESS POINTS TO THE CONSTRUCTION SITE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE AFTER INTERIOR ROADWAYS ARE PAVED. INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS. THE STABILIZED CONSTRUCTION ACCESS SHALL BE STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
11. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR INTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

**NOT APPROVED FOR CONSTRUCTION**



Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472

## PROPOSED MIXED-USE DEVELOPMENT

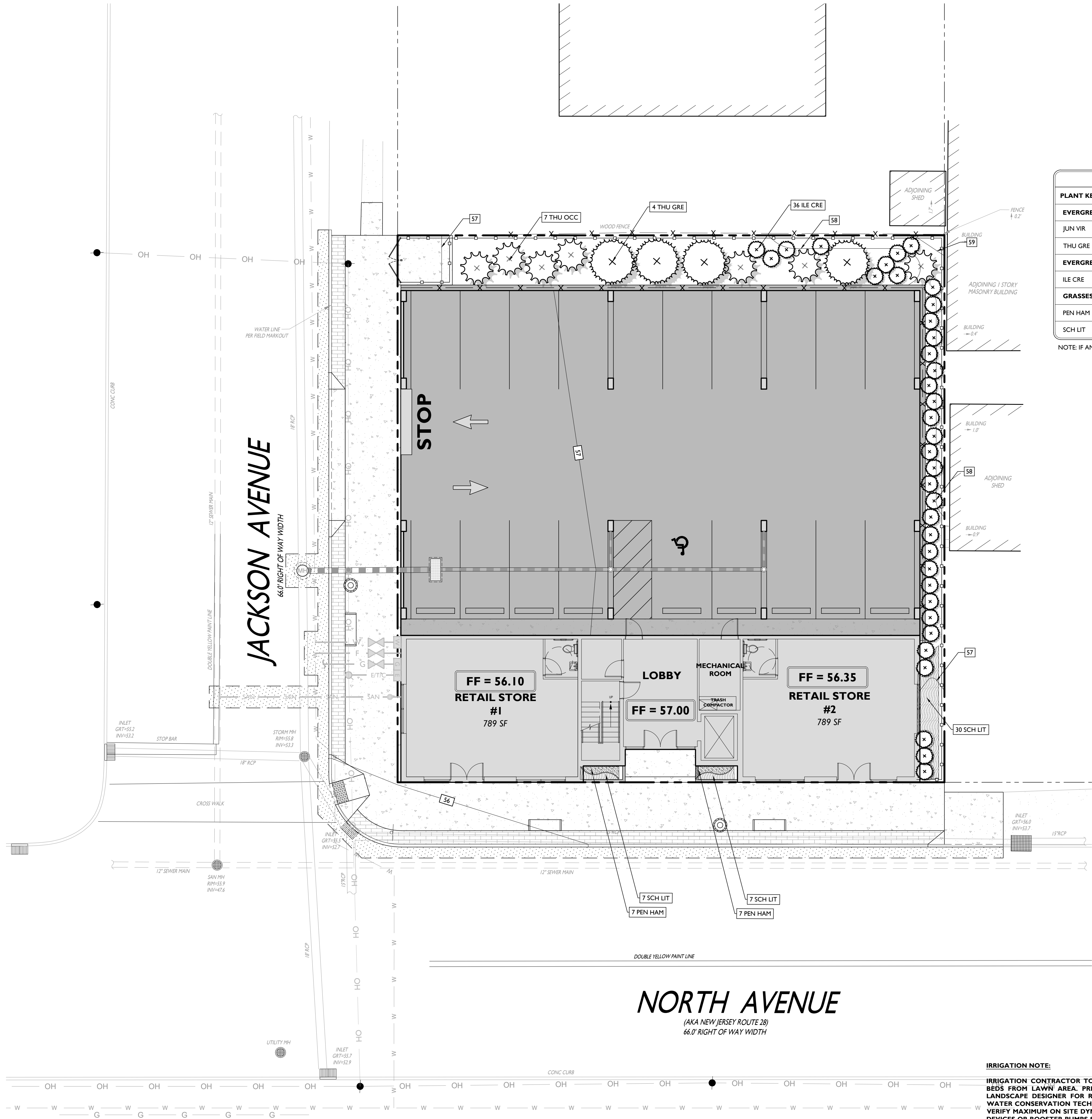
**BLOCK 1, LOT 14  
150 NORTH AVENUE  
BOROUGH OF DUNELLEN  
MIDDLESEX COUNTY, NEW JERSEY**



## SOIL EROSION & SEDIMENT CONTROL PLAN

**C-6**

T:\2019\1932 MILANI BUILDING - 150 NORTH AVENUE DUNELLEN, NC\A001\LOT 14\LAND.DWG

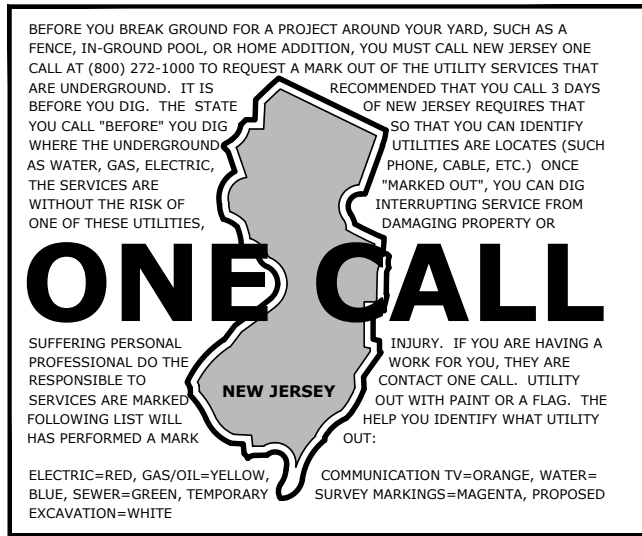


PLANT SCHEDULE					
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
EVERGREEN TREES					
JUN VIR	7	'THUJA OCCIDENTALIS' EMERALD GREEN'	EMERALD GREEN ARBORVITAE	6' HT	B&B
THU GRE	4	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6' HT	B&B
EVERGREEN SHRUBS					
ILE CRE	36	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL HOLLY	18"-24"	B&B
GRASSES					
PEN HAM	14	PENNISETUM ALOPECUROIDES 'HADELN'	HADELN FOUNTAIN GRASS	1 GAL	30" o.c.
SCH LIT	44	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM GRASS	1 GAL	30" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

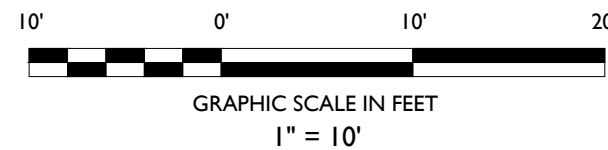
LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§8.3	ALONG NORTH AVENUE AND BOUND BROOK ROAD, DECIDUOUS TREES, NATIVE TO NEW JERSEY, SHOULD BE PLANTED APPROXIMATELY 55-FOOT ON-CENTER AND IN RELATION TO BUILDING FACADE. TREES SHALL BE OVER 12 FEET IN HEIGHT; A MINIMUM 3-INCH CALIPER (DBH) AND SHALL BE PLANTED ON THE STREET SIDE OF ANY SIDEWALK.	0 TREES (V)
§8.5 (4)	ALL AREAS NOT COVERED BY BUILDING, PAVEMENT OR IMPERVIOUS SURFACE SHALL BE LANDSCAPED BY A MIX OF EVERGREEN AND DECIDUOUS TREES, SHRUBBERY AND HERBACEOUS PLANTS, INCLUDING GRASS-NATIVE SPECIES PROVEN TO RESIST THE URBAN ENVIRONMENT IN THIS AREA. EVERGREEN SCREEN PLANNING SHALL BE A MINIMUM OF FOUR (4) FEET IN HEIGHT. DECIDUOUS SHRUBS SHALL BE A MINIMUM OF TWELVE TO EIGHTEEN (12 TO 18) INCHES IN HEIGHT; MATERIAL SHALL BE PLANTED, BALLED, AND BURLAPPED AND BE OF SPECIMEN QUALITY AS ESTABLISHED BY THE AMERICAN ASSOCIATE OF NURSERYMEN. AT INITIAL PLANTING SAID MATERIAL SHALL PROVIDE A SCREEN FROM THE TOP OF THE PLANTING TO WITHIN SIX (6) INCHES OF GRADE. OTHER PLANT MATERIALS SHALL BE DENSE AND SPECIMEN QUALITY AS DETERMINED ABOVE. ALL DECIDUOUS TREES SHALL BE A MINIMUM OF THREE (3) INCHES IN CALIPER OR TWELVE (12) FEET IN HEIGHT.	COMPLIES

(V) VARIANCE



#### LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4-INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3-INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AN AREA OF LANDSCAPING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



#### IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

**STONEFIELD**  
engineering & design

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Princeton, NJ · Tampa, FL · Detroit, MI  
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Phone 201.340.4468 · Fax 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

**COMMUNIPAW ASSOCIATES, LLC**

**PROPOSED MIXED-USE  
DEVELOPMENT**

BLOCK 1, LOT 14  
150 NORTH AVENUE  
BOROUGH OF DUNELLEN  
MIDDLESEX COUNTY, NEW JERSEY

MATTHEW J. SECKLER, P.E.  
NEW JERSEY LICENSE NO. 48731  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 10' PROJECT ID: T-19325

TITLE:

**LANDSCAPING PLAN**

DRAWING:

**C-7**















1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
3. ALL JOINTS TO BE WATER-TIGHT.
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



NOT TO SCALE

1

1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
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NOT TO SCALE

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2



NOT TO SCALE

3

1. ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.

2. ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D3231, "STANDARD SPECIFICATION FOR UNREINFORCED HIGH DENSITY POLYETHYLENE (HDPE) PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" (LATEST EDITION).

3. ALL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C1170, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).

4. FOR NON HDPE OR RCP PIPE INSTALLATIONS, THE CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.

5. WHERE THE REQUIRED BULKHEAD IS UNABLE TO BE INSTALLED WITH SHIELD, PROVIDE SUITABLE BACKFILL MATERIAL AS REQUESTED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.

6. THE BULKHEAD SHALL BE MINIMUM 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54", 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.

7. CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL MATERIAL SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.



NOT TO SCALE

4



NOT TO SCALE

**NOTE**

MINIMUM PIPE COVER SHALL BE AS FOLLOW:

- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
- GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
- SEWER SERVICE - 36" MINIMUM
- WATER SERVICE - 48" MINIMUM

5



NOT TO SCALE

7

2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.



NOT TO SCALE

8



NOT TO SCALE

9

## NOTES

1. STONE SHALL BE ASTM C-39, SIZE NO. 2 (2.5" TO 1.5") OR 3 (2" TO 1") LENGTH CRUSHED ANGULAR STONE.
2. WHERE SHALL BE 13' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE, AT POINT OF DRAINAGE.
4. A 12" GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
5. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED TO PREVENT EROSION OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
6. THE SLOPE SHALL BE 5% OR LESS AT THE TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.



NOT TO SCALE

10



NOT TO SCALE

[illegible]

NOTES:

1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES)

**MATTHEW J. SECKLER, P.E.**  
NEW JERSEY LICENSE No. 48731  
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN	PROJECT ID: T-19325
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**TITLE:**

## CONSTRUCTION DETAILS

**DRAWING:**

## C-II



