

SCALE: $I'' = 1,000' \pm$

PRELIMINARY & FINAL MAJOR SITE PLAN **FOR**

COMMUNIPAW ASSOCIATES, LLC PROPOSED MIXED-USE DEVELOPMENT

BLOCK I / LOT 14 **150 NORTH AVENUE** BOROUGH OF DUNELLEN, MIDDLESEX COUNTY, NEW JERSEY

APPROVA	L BLOCK
APPROVED BY THE BOROU PLANNING BOARD	IGH OF DUNELLEN
CHAIRPERSON	DATE
SECRETARY	DATE

APPLICANT / OWNER

COMMUNIPAW ASSOCIATES, LLC 36 VALLEYVIEW ROAD WATCHUNG, NEW JERSEY 07069

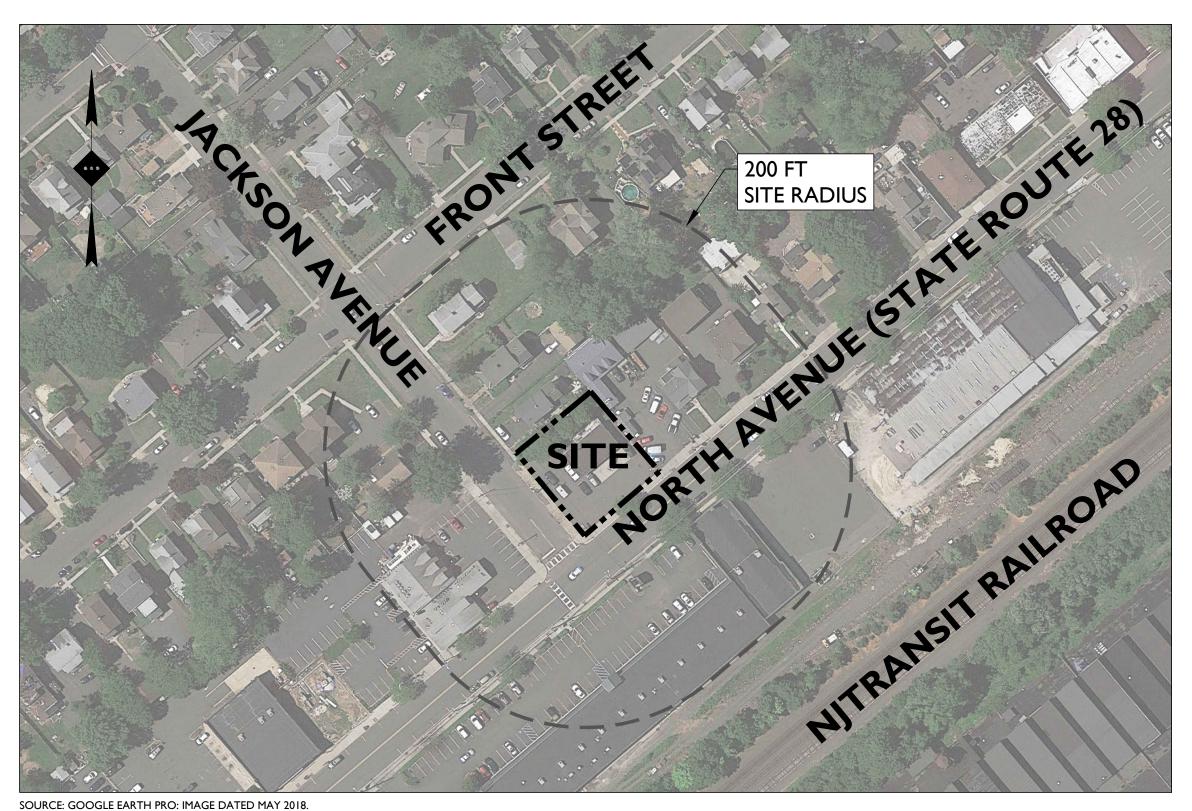
ATTORNEY

100 SOUTHGATE PARKWAY, P.O. BOX 1997 JAPAPARO@PBNLAW.COM

ZONING RELIEF TABLE						
RELIEF TYPE	CODE SECTION	REQUIRED	PROPOSED			
DEVIATION	REDEVELOPMENT PLAN §7.4.4. 3.	MAXIMUM DWELLING UNIT DENSITY = 20 UNITS / AC	61 UNITS / AC			
VARIANCE	REDEVELOPMENT PLAN §8.3	DECIDUOUS TREES, NATIVE TO NEW JERSEY, SHOULD BE PLANTED APPROXIMATELY 50-FOOT ON-CENTER AND IN RELATION TO BUILDING FACADE. TREES SHALL BE OVER 12 FEET IN HEIGHT; A MINIMUM 3-INCH CALIPER (DBH) AND SHALL BE PLANTED ON THE	0 TREES			

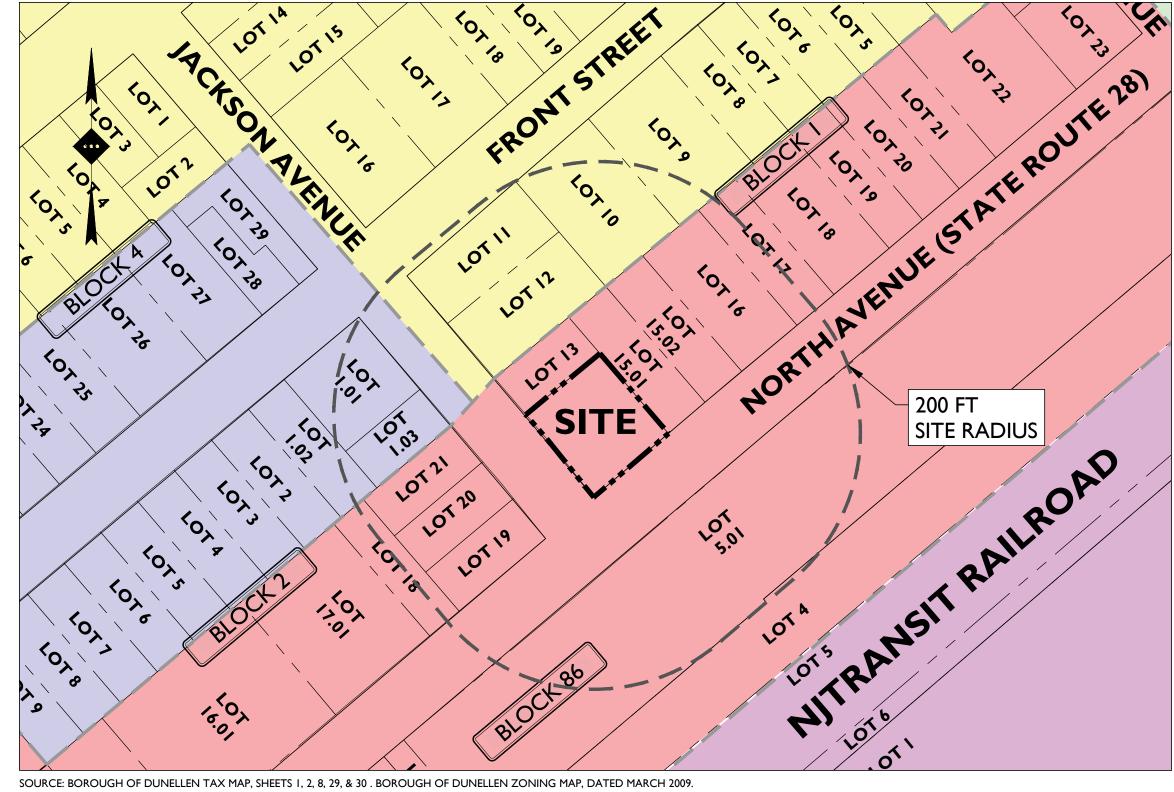
STREET SIDE OF ANY SIDEWALK

135 FRONT STREET **DUNELLEN, NEW IERSEY 0881** 741 SCHOOLHOUSE ROAD BOUND BROOK, NEW JERSEY DAG PROPERTIES 2020 PLAINFIELD AVENUE NEAL, EARL W. AND SOUTH PLAINFIELD, NEW JERSEY **DUNELLEN, NEW JERSEY 08812** & CATHIE **DUNELLEN, NEW JERSEY 08812** MICHEAL SOUTH RIVER, NEW JERSEY 08882 VELASTEGUI BRIDGEWATER, NEW JERSEY 08807 **NELSON A &** AGUILAR, 1.03 SOUTH PLAINFIELD, NEW JERSEY LIVING. INC. 210 NORTH AVENUE ZERVOPOULOS, JR JOHN & LISA **DUNELLEN, NEW JERSEY 08812** 210 NORTH AVENUE ZERVOPOULOS, JR **DUNELLEN, NEW JERSEY 08812** 210 NORTH AVENUE PERRY IAMES PROPERTIES LLC **DUNELLEN, NEW JERSEY 08812** 2035 ROUTE 27, ROUTE 2150 FRIENDWELL PLAZA EDISON, NEW JERSEY 08817 VALSTIR, LLC 1075 EASTON AVENUE TWR1 STE2 SOMERSET, NEW JERSEY 08873



SCALE: $I'' = 100' \pm$

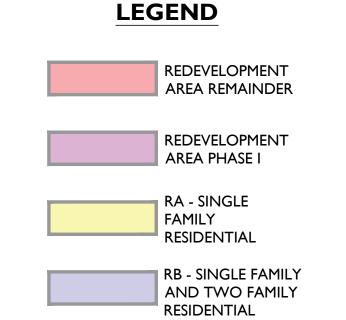
AERIAL MAP



TAX & ZONING MAP

SCALE: $I'' = 100' \pm$

PLANS PREPARED BY:



ZONING



Rutherford, NJ · New York, NY · Boston, MA Princeton, NJ · Tampa, FL · Detroit, MI www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone 201.340.4468 · Fax 201.340.4472



Know what's **below** Call before you dig.

PLAN REFERENCE MATERIALS:

ARCHITECT, DATED 03/10/2020

- I. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS
- **INCLUDING, BUT NOT LIMITED TO:** SURVEY OF PROPERTY PREPARED BY PARKER
- **ENGINEERING & SURVEYING P.C., DATED 04/17/2019** ARCHITECTURAL PLANS PREPARED BY ALAN FELD
- AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, **DATED 05/2018**
- **KEY MAP OBTAINED FROM UNITED STATES GEOLOGIC** SURVEY MAP, PLAINFIELD QUADRANGLE, NEW JEREY, 7.5
- **MINUTE SERIES, DATED 2019** TAX MAP SHEETS 1, 2, 8, 29 & 30 OBTAINED FROM **BOROUGH OF DUNELLEN TAX MAP, DATED 12/2016 ZONING MAP OBTAINED FROM BOROUGH OF DUNELLEN**
- **ZONING MAP, DATED 03/2009** 2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX					
DRAWING TITLE	SHEET#				
COVER SHEET	C-I				
EXISTING CONDITIONS PLAN	C-2				
SITE PLAN	C-3				
GRADING, DRAINAGE, & UTILITY PLAN	C-4				
LIGHTING PLAN	C-5				
SOIL EROSION & SEDIMENT CONTROL PLAN	C-6				
LANDSCAPING PLAN	C-7				
LANDSCAPING DETAILS	C-8				
CONSTRUCTION DETAILS	C-9 TO C-12				

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N						STR		472 SSUE
					09/04/2020	07/13/2020	04/27/2020	JE DATE
					NA BOR	BJD BOR	RO REDI	ВУ
					BOROUGH, COUNTY, & SCD RESUBMISSION	BOROUGH, COUNTY, & SCD SUBMISSION	REDEVELOPMENT COMMITTEE	DESCRIPTION

MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 4873 I LICENSED PROFESSIONAL ENGINEER

PRO PRO DEV BLOCK I 150 NOR BOROUG MIDDLES

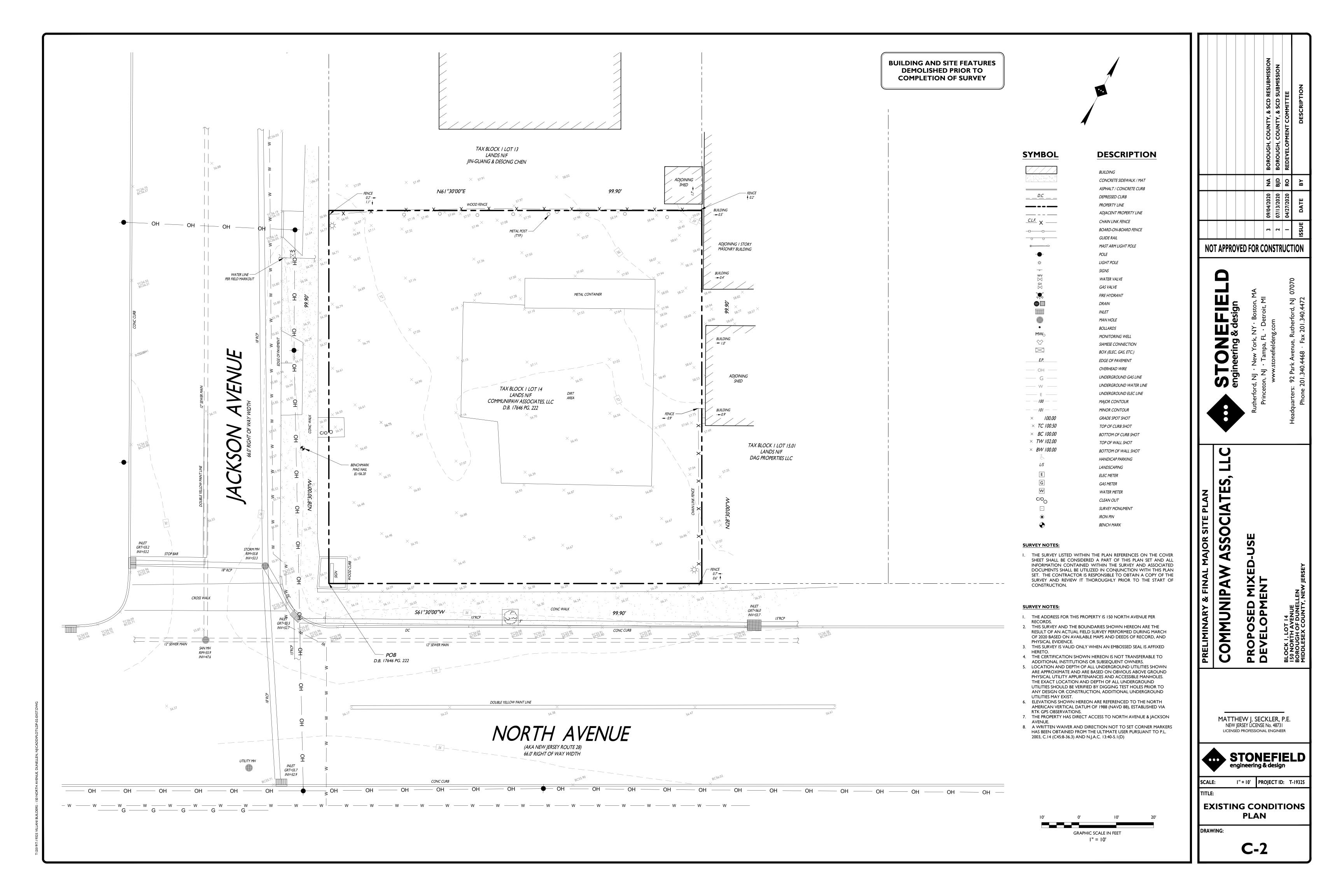


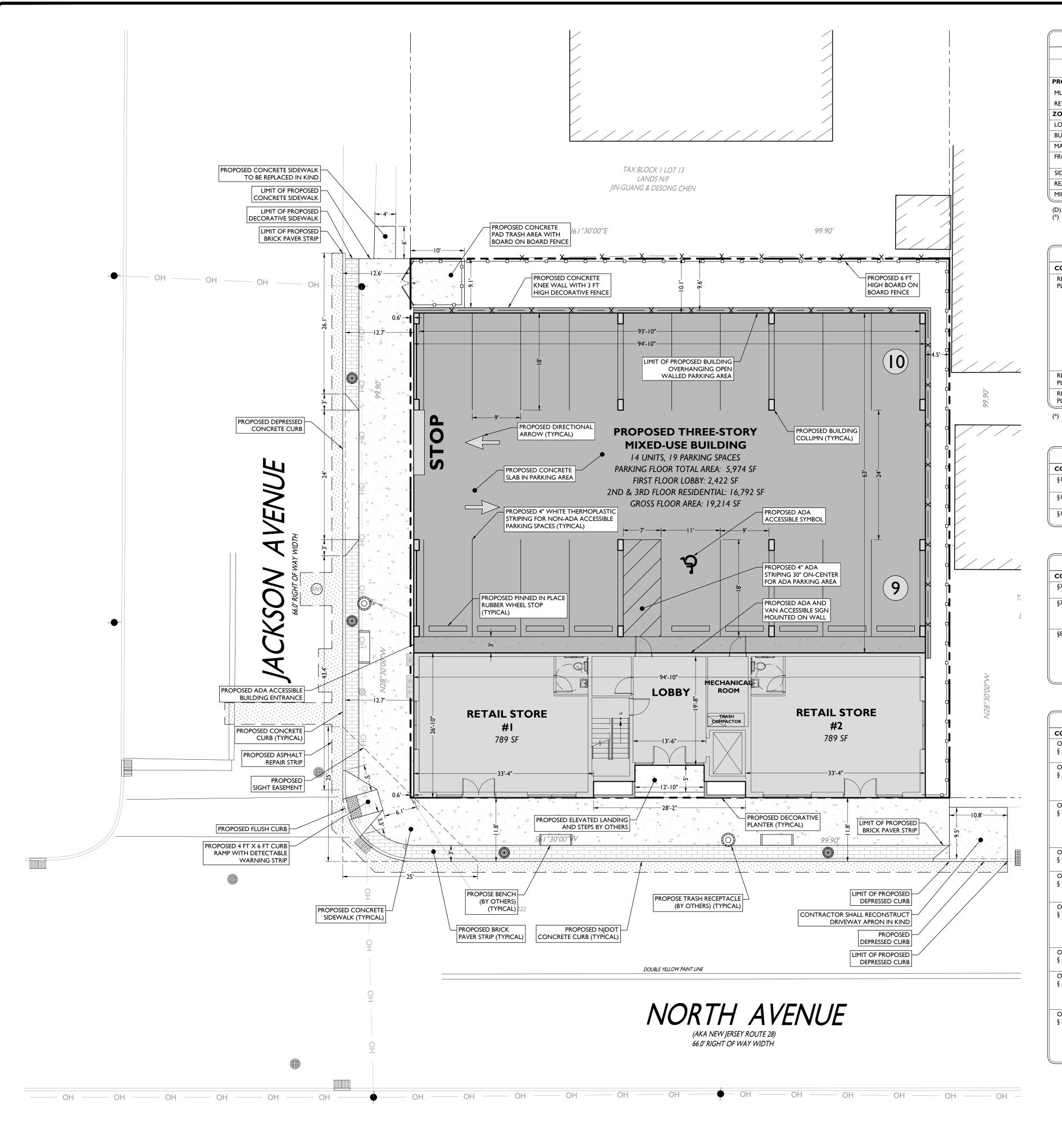
SCALE: AS SHOWN PROJECT ID: T-19325

COVER SHEET

DRAWING:

C-I





L	AND USE A	ND ZONING					
BLOCK I, LOT 14							
REMAIN NORTH AVENUE BET		REDEVELOPMENT AND JEF					
PROPOSED USE							
MULTI-FAMILY RESIDENTIAL	PERMITTED USE	<u> </u>					
RETAIL	PERMITTED USE	<u> </u>					
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED				
LOT AREA	N/A	9,980 SF (0.23 AC)	9,980 SF (0.23 AC)				
BUILDING HEIGHT	3 STORIES	I STORY	3 STORIES				
MAXIMUM DWELLING UNIT DENSITY	20 UNITS/AC	N/A	61 UNITS/AC (D)				
FRONT YARD SETBACK	0.0 FT (*)	46.4 FT	JACKSON AVENUE = 0.6 FT (D) NORTH AVENUE = 0.0 FT				
SIDE YARD SETBACK	0.0 FT	12.7 FT	4.5 FT				
REAR YARD SETBACK	0.0 FT	26.1 FT	10.1 FT				
MINIMUM LANDSCAPE AREA	10%	0.0%	11.9% (1,192 SF)				

ALL NEW STRUCTURES OR BUILDINGS SHALL BE LOCATED AT THE FRONT PROPERTY LINE TO PROVIDE A CONTINUOUS STREET WALL

OFF-STREET PARKING REQUIREMENTS						
CODE SECTION	REQUIRED	PROPOSED				
REDEVELOPMENT PLAN §8.13 (1)	OFF-STREET PARKING REQUIREMENT: RESIDENTIAL REQUIREMENT: I.8 SPACES PER I-BEDROOM UNIT (4 UNITS) (I.8 SPACES / UNIT) = 7.2 SPACES 2.0 SPACES PER 2-BEDROOM UNIT (10 UNITS) (2 SPACES / UNIT) = 20.0 SPACES RETAIL REQUIREMENT: I SPACE PER 200 SF OF GFA, PLUS I ADDITIONAL SPACE FOR EACH 300 SF OF ADDITIONAL GFA I578 SF = 6 SPACES TOTAL: 33 SPACES	19 SPACES (*)				
REDEVELOPMENT PLAN §8.13 (2)	MINIMUM PARKING SPACE SIZE: PARKING SPACE = 9 FT X 18 FT	9 FT X 18 FT				
EDEVELOPMENT LAN §8.13 (2)	MINIMUM DRIVE-AISLE WIDTH: 90-DEGREE PARKING = 24 FT	24 FT				

PER SECTION 8.13(1) IN THE DUNELLEN DOWNTOWN REDEVELOPMENT PLAN THE DEVELOPMENT IS EXEMPT FROM OFF-STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§115-39(B)	FENCE HEIGHT REQUIREMENTS: MAXIMUM FENCE HEIGHT (SOLID) = 6 FT	6 FT
§115-40(C)	BUFFER HEIGHT REQUIREMENTS: MINIMUM BUFFER HEIGHT = 4FT	6 FT (FENCE)
§115-40(D)	PARKING AREA - RESIDENTIAL LOT BUFFER HEIGHT REQUIREMENTS: MINUMUM BUFFER HEIGHT = 6FT	6 FT (FENCE)

DUNELLEN REDEVELOPMENT PLAN REQUIREMENTS						
CODE SECTION	REQUIRED	PROPOSED				
§7.4.4 (7)	DECORATIVE WALKWAY REQUIREMENTS: ALL WALKWAYS SHALL USE DECORATIVE PAVERS	COMPLIES				
§7.4.4 (8)	STREETSCAPE FURNITURE REQUIREMENTS: BOTH TRASH RECEPTACLES AND BENCHES ARE REQUIRED AND SHALL BE OF MATERIALS COMPLEMENTING THE BUILDING SAND THE RAILROAD TOWN THEME	COMPLIES				
§8.2	STREETSCAPE FURNITURE REQUIREMENTS CONTINUED: BENCHES-RECYCLED PLASTICS WITH WROUGHT IRON FRAME, METAL OR IRON TRASH RECEPTACLES MATCHING BENCHES, SHRUBS, TREES, AND GROUND COVER, WALKWAYS MADE OF BRICK AND OR DECORATIVE MASON MATERIALS, PLANTERS, AWNINGS, DECORATIVE AND/OR AMERICAN FLAGS, PORCHES/STEPS, FLOWER POTS, BICYCLE RACKS	COMPLIES				

SIGNAGE REQUIREMENTS					
CODE SECTION	REQUIRED	PROPOSED			
ORDINANCE 2013-01 § IX. A. 3.	ILLUMINATION REQUIREMENTS: IF SIGNS ARE ILLUMINATED, THEY MUST BE EXTERNALLY ILLUMINATED	COMPLIES			
ORDINANCE 2013-01 § IX. A. 4	ILLUMINATION REQUIREMENTS CONTINUED: FREESTANDING ILLUMINATED SIGNS AND ILLUMINATED WALL MOUNTED SIGNS SHALL HAVE THEIR LIGHT SOURCE LOCATED EITHER ON THE GROUND SHINING UP OR MOUNTED ON THE TOP OF THE SIGN SHINING DOWN	COMPLIES			
ORDINANCE 2013-01 § IX. B. I.	LOCATION REQUIREMENTS: ON BUILDINGS DESIGNED FOR COMMERCE, SIGNS SHOULD FIT IN THE EXISTING FEATURES OF THE FACADE, SUCH AS WHEN FACADE BANDS OF DECORATIVE MOLDINGS CREATE NATURAL FRAMES FOR SIGNS. SIGNS SHOULD BE ALIGNED WITH SIGNS ON ADJACENT STOREFRONTS	COMPLIES			
ORDINANCE 2013-01 § IX. B. 7.	LETTERING REQUIREMENTS: LETTERING FOR ANY SIGN SHALL NOT EXCEED 12" IN HEIGHT, UNLESS OTHERWISE RESTRICTED IN THIS ORDINANCE	12"			
ORDINANCE 2013-01 § XIV. A.	WALL SIGN LOCATION REQUIREMENTS: WALL SIGNS ARE PERMITTED ONLY ON THE FACADES OF BUILDINGS FRONTING ON A STREET, PARKING LOT, OR PUBLIC RIGHT OF WAY	COMPLIES			
ORDINANCE 2013-01 § XIV. A. I. (a)	WALL SIGNS: MAXIMUM QUANTITY = I SIGN PER FACADE MAXIMUM SIZE = 2/3 OR 66% OF THE LENGTH OF FACADE AND 3/4 OR 75% OF THE HEIGHT OF THE BUILDING\S SIGN BAND. WHERE NO SIGN BAND IS PRESENT, THE WALL SIGN SHALL NOT EXCEED 24 SF	3 SIGNS COMPLIES 24 SF			
ORDINANCE 2013-01 § XIV. A. I. (b)	WALL SIGN QUANTITY REQUIREMENTS: NO MORE THAN ONE (I) EXTERNALLY ILLUMINATED WALL SIGN PER SEPARATE FRONT FACADE SHALL BE PERMITTED	COMPLIES			
ORDINANCE 2013-01 § XIV. A. I. (d)	PROJECTING SIGN ILLUMINATION REQUIREMENTS: EXTERNALLY ILLUMINATED PROJECTING WALL SIGNS ARE PERMITTED WITH THE REQUIREMENT THAT THE ILLUMINATION SPREAD CANNOT BE BEYOND THE BOUNDARY OF THE SIGN AREA	COMPLIES			
ORDINANCE 2013-01 § XIV. A. 2.	WALL SIGN LOCATION REQUIREMENTS CONTINUED: A WALL SIGN SHALL NOT EXTEND BEYOND THE ENDS OF THE WALL SURFACE ON WHICH IT IS PLACED AND SHALL BE BELOW THE TOP OF THE FIRST STORY, OR BELOW THE TOP OF THE PARAPET OF THE PREMISES, OR NOT OVER 17 FT ABOVE GRADE, WHICHEVER SHALL BE LOWER. NO PART OF THE SIGN SHALL BE MORE THAN 6" BEYOND THE BUILDING FACADE.	COMPLIES			

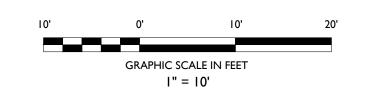


SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	SAWCUT LINE
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED BUILDING
	PROPOSED CONCRETE
xx	PROPOSED CHAINLINK FENCE
	PROPOSED BOARD-ON-BOARD FENCE
	PROPOSED BUILDING DOORS

GENERAL NOTES

PROPERTY.

- I. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND IT'S SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- 4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN,
- 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION. 6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE
- 7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE. 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW
- THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET. 9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL
- DEVICES, LATEST EDITION. 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE
- PROCUREMENT OF STREET OPENING PERMITS. II. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



					BOROUGH, COUNTY, & SCD RESUBMISSIO	BOROUGH, COUNTY, & SCD SUBMISSION	REDEVELOPMENT COMMITTEE	DESCRIPTION
					AN	BJD	RO	ВҰ
					09/04/2020	07/13/2020	04/27/2020	DATE
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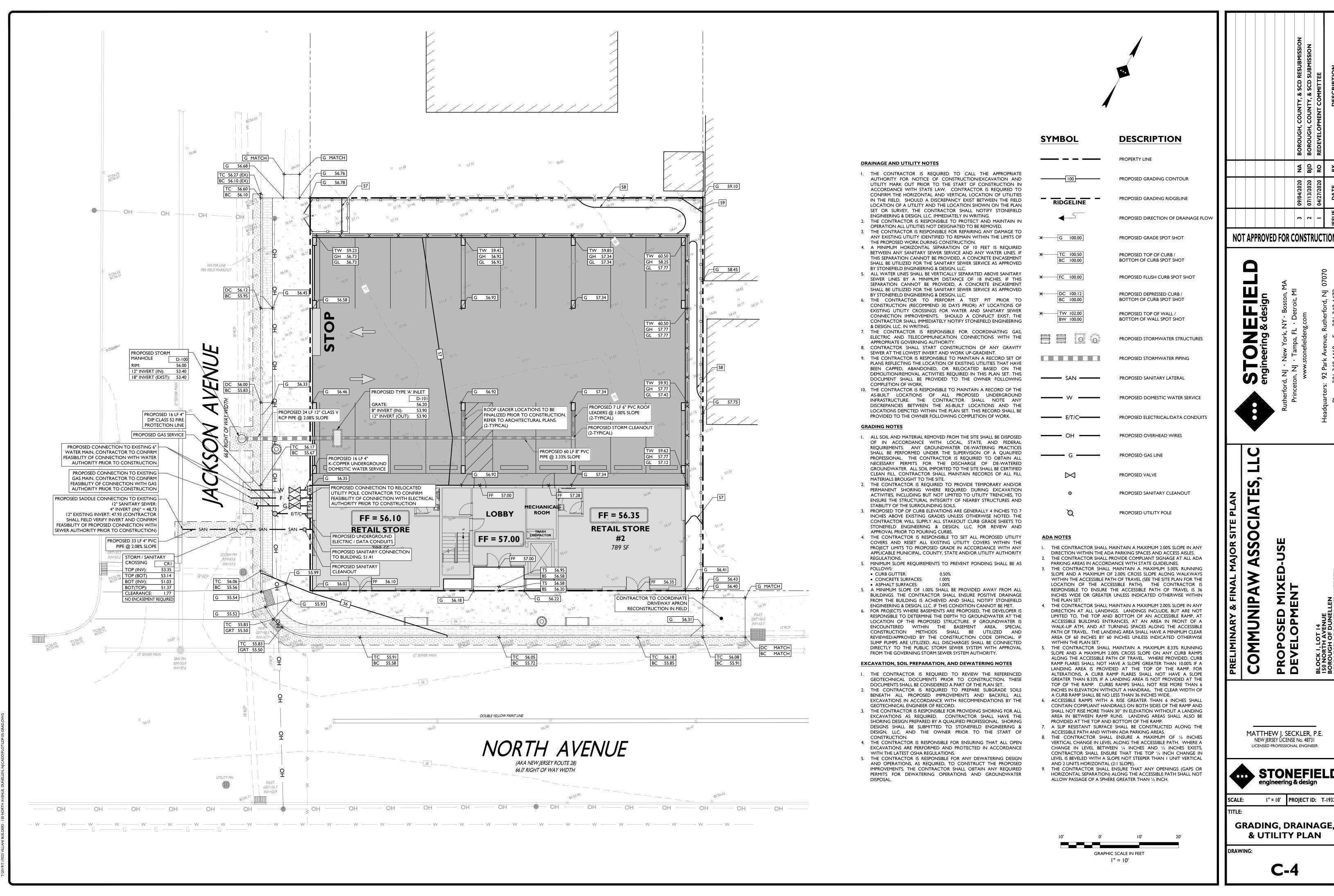
MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 4873 I



LICENSED PROFESSIONAL ENGINEER

I" = 10' PROJECT ID: T-19325

SITE PLAN

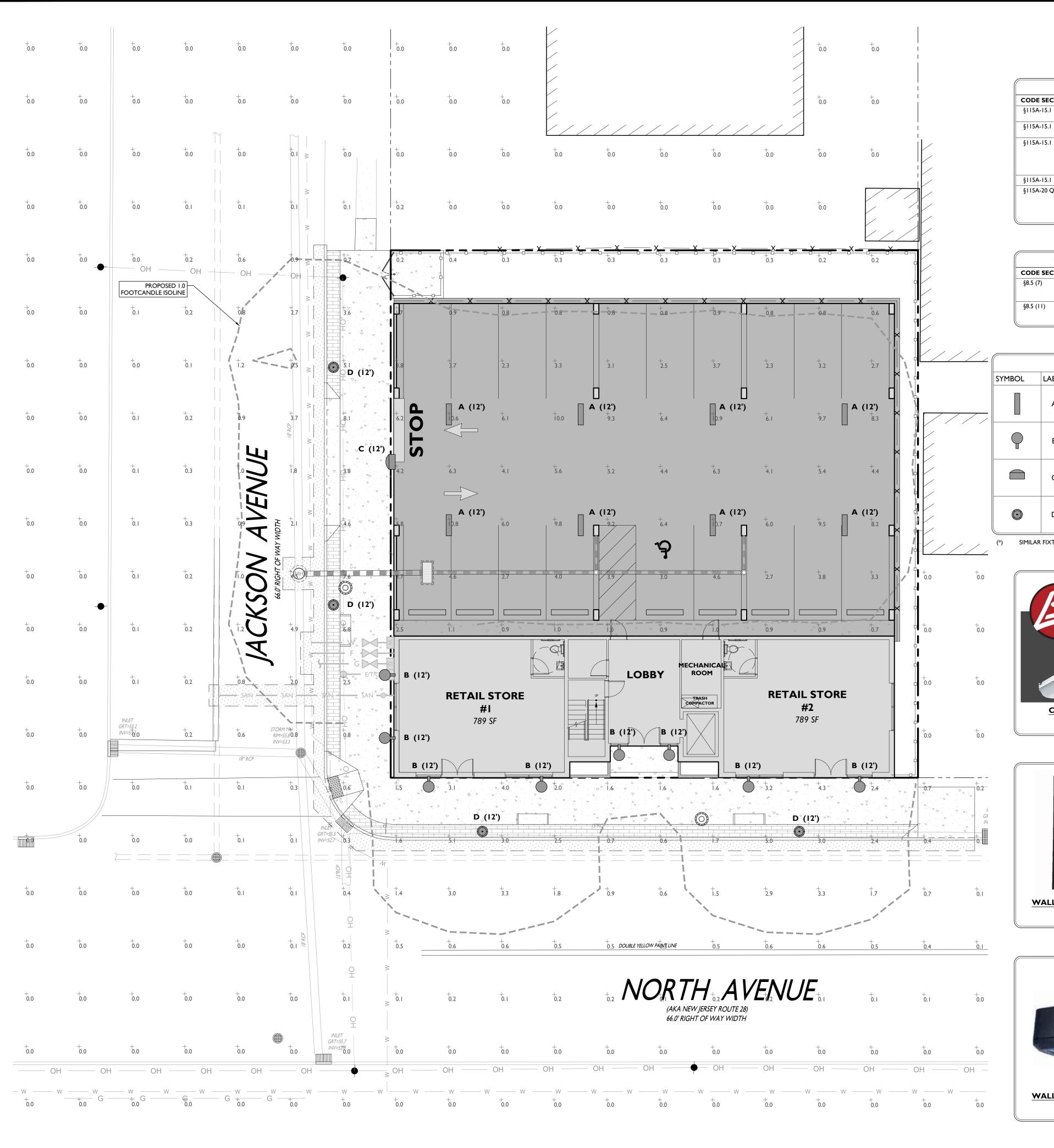


NOT APPROVED FOR CONSTRUCTION

MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 48731



I" = 10' PROJECT ID: T-19325



DUNELLEN REDEVELOPMENT PLAN REQUIREMENTS					
CODE SECTION	REQUIRED	PROPOSED			
§8.5 (7)	ADEQUATE AND APPROPRIATE LIGHTING SHALL BE PROVIDED TO PROMOTE A SENSE OF SECURITY IN THE PUBLIC OPEN SPACE	COMPLIES			
§8.5 (II)	PUBLIC SIDEWALK AREAS SHALL BE LANDSCAPED AND DURABLY PAVED AND SHALL BE PROPERLY ILLUMINATED WITH SAFE AND ADEQUATE LIGHTING	COMPLIES			

CODE SECTION	REQUIRED	PROPOSED
§115A-15.1 B. (12) (a)	A MINIMUM OF 0.25 FOOTCANLDE SHALL BE PROVIDED FOR ALL NONRESIDENTIAL OFF-STREET PARKING FACILITIES	0.6 FOOTCANDLE
§115A-15.1 B. (12) (b)	A MINIMUM OF 1.0 FOOTCANDLE SHALL BE PROVIDED AT DRIVEWAYS AND DRIVEWAY INTERNAL INTERSECTIONS	3.8 FOOTCANDLE
§115A-15.1 B. (12) (c)	THE LIGHTING OF PARKING FACILITIES THAT ABUT RESIDENTIAL LAND SHALL BE ARRANGED AND INSTALLED SO AS NOT TO REFLECT OR CAUSE GLARE ON THE ABUTTING RESIDENTIAL LAND, IN ACCORDANCE WITH PROVISIONS OF PERFORMANCE STANDARDS	COMPLIES
§115A-15.1 B. (12) (e)	FREESTANDING LIGHTS SHALL NOT EXCEED 25 FT IN HEIGHT	I2 FT
§115A-20 Q.	THE EXTERIOR OF A SITE WITH GREATER THAN 100 FT OF STREET FRONTAGE SHALL PROVIDE DECORATIVE LAMPPOSTS APPROXIMATELY 10 FT TO 12 FT HIGH, SPACED AT INTERVALS OF APPROXIMATELY 40 FT TO 60 FT ALONG OR NEAR ALL STREET LINES AND DRIVEWAYS	COMPLIES

SYMBOL	DESCRIPTION
	PROPOSED CALCULATION AREA
	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
⁺ X.X	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIG

	PROPOSED LUMINAIRE SCHEDULE										
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE				
	A	8	EG3 SERIES - 4 FT - CANOPY LIGHT - 4000K - 31.79 WATT *	٧	0.90	LSI LIGHTING	EG3-4-LED-04L-CL-S-40-80.IES				
P	В	8	PHANTOM SERIES - 21" - WALL SCONCE LIGHT - 4000K - 27.5 WATT *		0.90	MODERN FORMS	WS-W1621-SS.IES				
	С	I	PATRIOT SERIES - WALL PACK - 4000K - 33.5 WATT *	WT	0.90	LSI LIGHTING	XPWS3-WT-LED-28-350-NW-UE.IES				
	D	4	CAPITOL NARROW SERIES - HIGH PRESSURE SODIUM - 100 WATT *	V-HORIZONTAL	0.72	HADCO LIGHTING	20_v4800-15s5vb5.IES				





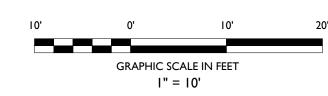




GENERAL LIGHTING NOTES

- I. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER
- VARIABLE FIELD CONDITIONS. 2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR
- LIGHTING FIXTURE MODEL. 3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:

 • LIGHT EMITTING DIODES (LED): 0.90
- HIGH PRESSURE SODIUM: \u00e9 METAL HALIDE: 4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH
- EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. 5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



10'	0'	10'	20'
	GRAPHIC S	CALE IN FEET	
	[":	= 10'	

					BOROUGH, COUNTY, & SCD RESUBMISSION	BOROUGH, COUNTY, & SCD SUBMISSION	REDEVELOPMENT COMMITTEE	DESCRIPTION
					NA	BJD	RO	ВУ
					09/04/2020	07/13/2020	04/27/2020	DATE
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NOT APPROVED FOR CONSTRUCTION



COMMUNIPAW ASSOCIATES, FINAL MAJOR SITE PLAN

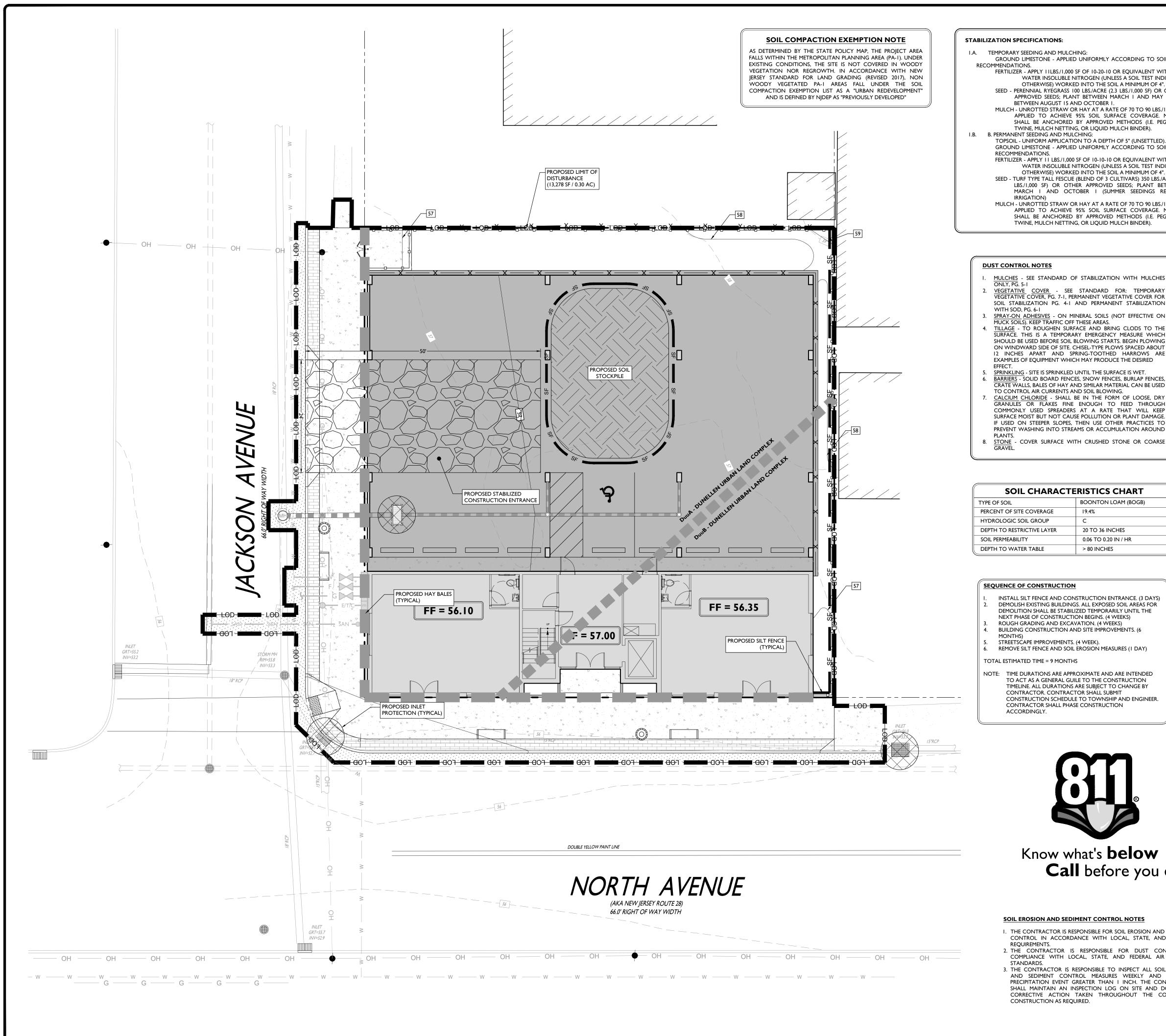
PROPOSED | DEVELOPME

MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 48731 LICENSED PROFESSIONAL ENGINEER



I" = 10' PROJECT ID: T-19325

LIGHTING PLAN



STABILIZATION SPECIFICATIONS:

I.A. TEMPORARY SEEDING AND MULCHING:

GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50%

WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4". SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH I AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF

APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER). I.B. B. PERMANENT SEEDING AND MULCHING: TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).

GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50%

WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4". SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./I,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH I AND OCTOBER I (SUMMER SEEDINGS REQUIRE

IRRIGATION) MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

DUST CONTROL NOTES

MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1

2. <u>VEGETATIVE COVER</u> - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION . SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

4. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE, CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES,

CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO

8. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE

SOIL CHARACTERISTICS CHART						
TYPE OF SOIL	BOONTON LOAM (BOGB)					
PERCENT OF SITE COVERAGE	19.4%					
HYDROLOGIC SOIL GROUP	С					
DEPTH TO RESTRICTIVE LAYER	20 TO 36 INCHES					
SOIL PERMEABILITY	0.06 TO 0.20 IN / HR					
DEPTH TO WATER TABLE	> 80 INCHES					

SEQUENCE OF CONSTRUCTION

- INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE. (3 DAYS) DEMOLISH EXISTING BUILDINGS. ALL EXPOSED SOIL AREAS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY UNTIL THE NEXT PHASE OF CONSTRUCTION BEGINS. (4 WEEKS)
- ROUGH GRADING AND EXCAVATION. (4 WEEKS) BUILDING CONSTRUCTION AND SITE IMPROVEMENTS. (6
- STREETSĆAPE IMPROVEMENTS. (4 WEEK). REMOVE SILT FENCE AND SOIL EROSION MEASURES (I DAY)

TOTAL ESTIMATED TIME = 9 MONTHS

NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUILE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR, CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.



Know what's **below** Call before you dig.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- I. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL
- 2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY
- 3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN I INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
LOD	PROPOSED LIMIT OF DISTURBANCE
——— SF ———	PROPOSED SILT FENCE
—— TPF ———	PROPOSED TREE PROTECTION FENCE
	PROPOSED STOCKPILE & EQUIPMENT STORAGE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION FILTER

FREEHOLD SOIL CONSERVATION DISTRICT NOTES

I. THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY. 2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL FROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS. 4. N.I.S.A 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY

BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.

5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.

6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING. ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS

7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.

8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF. 9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF WAYS WILL BE REMOVED

IMMEDIATELY. 10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.

II. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL

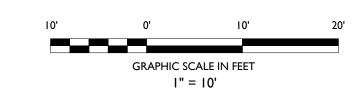
HAVE TO BE EMPLOYED. 12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PI ANTED

13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL. 14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING. 15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER

SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL. 16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL

EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE

ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED. 17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6. 18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.



NA BOROUGH, COUNTY, & SCD RESUBMISSION	BJD BOROUGH, COUNTY, & SCD SUBMISSION RO REDEVELOPMENT COMMITTEE	BY DESCRIPTION
09/04/2020	07/13/2020	DATE
8	2	ISSUE

NOT APPROVED FOR CONSTRUCTION

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MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 4873 I LICENSED PROFESSIONAL ENGINEER

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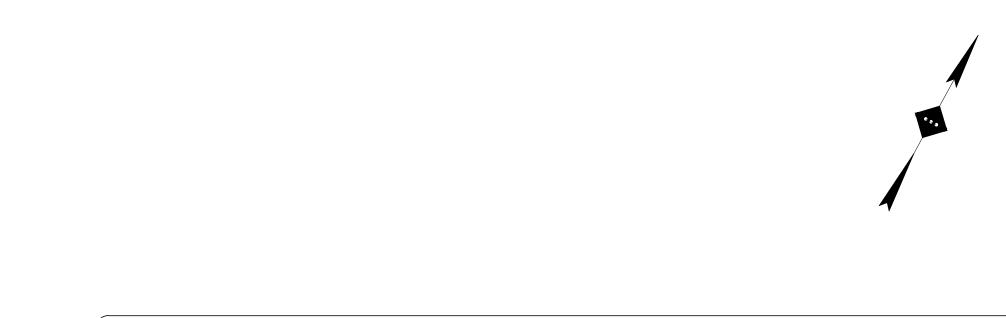


I" = 10' PROJECT ID: T-19325

SOIL EROSION &

SEDIMENT CONTROL

PLAN



PLANT SCHEDULE									
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS				
EVERGREEN TRE	ES								
JUN VIR	7	'THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	6' HT	B&B				
THU GRE	4	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6' HT	B&B				
EVERGREEN SHRUBS									
ILE CRE	36	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL HOLLY	18"-24"	B&B				
GRASSES									
PEN HAM	14	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	I GAL	30" o.c.				
SCH LIT	44	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM GRASS	I GAL	30" o.c.				

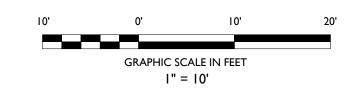
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

CODE SECTION	REQUIRED	PROPOSED
8.3	ALONG NORTH AVENUE AND BOUND BROOK ROAD: DECIDUOUS TREES, NATIVE TO NEW JERSEY, SHOULD BE PLANTED APPROXIMATELY 50-FOOT ON-CENTER AND IN RELATION TO BUILDING FACADE. TREES SHALL BE OVER 12 FEET IN HEIGHT; A MINIMUM 3-INCH CALIPER (DBH) AND SHALL BE PLANTED ON THE STREET SIDE OF ANY SIDEWALK.	0 TREES (V)
9.5 (4)	ALL AREAS NOT COVERED BY BUILDING, PAVEMENT OR IMPERVIOUS SURFACE SHALL BE LANDSCAPED BY A MIX OF EVERGREEN AND DECIDUOUS TREES, SHRUBBERY AND HERBACEOUS PLANTS, INCLUDING GRASS-NATIVE SPECIES PROVEN TO RESIST THE URBAN ENVIRONMENT IN THIS AREA. EVERGREEN SCREEN PLANING SHALL BE A MINIMUM OF FOUR (4) FEET IN HEIGHT. DECIDUOUS SHRUBS SHALL BE A MINIMUM OF TWELVE TO EIGHTEEN (12 TO 18) INCHES IN HEIGHT. MATERIAL SHALL BE PLANTED, BALLED, AND BURLAPPED AND BE OF SPECIMEN QUALITY AS ESTABLISHED BY THE AMERICAN ASSOCIATE OF NURSERYMEN. AT INITIAL PLANTING SAID MATERIAL SHALL PROVIDE A SCREEN FROM THE TOP OF THE PLANTING TO WITHIN SIX (6) INCHES OF GRADE. OTHER PLANT MATERIALS SHALL BE DENSE AND SPECIMEN QUALITY AS DETERMINED ABOVE. ALL DECIDUOUS TREES SHALL BE A MINIMUM OF THREE (3) INCHES IN CALIPER OR TWELVE (12) FEET IN HEIGHT.	COMPLIES

(V) VARIANCE



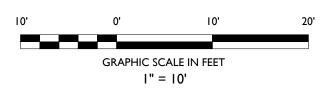
- LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED. 3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM
- 4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO I FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- 6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING



BEFORE YOU DIG. THE STATE YOU CALL "BEFORE" YOU DIG SO THAT YOU CAN IDENTIFY	FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 272-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS BEFORE YOU DIG. THE STATE YOU CALL "BEFORE" YOU DIG WHERE THE UNDERGROUND AS WATER, GAS, ELECTRIC, THE SERVICES ARE WITHOUT THE RISK OF INTERRUPTING SERVICE FROM	FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 272-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS BEFORE YOU DIG. THE STATE YOU CALL "BEFORE" YOU DIG WHERE THE UNDERGROUND W		
		ONE OF THESE UTILITIES, DAMAGING PROPERTY OR SUFFERING PERSONAL PROFESSIONAL DO THE RESPONSIBLE TO SERVICES ARE MARKED NEW JERSEY DAMAGING PROPERTY OR INJURY. IF YOU ARE HAVING A WORK FOR YOU, THEY ARE CONTACT ONE CALL. UTILITY OUT WITH PAINT OR A FLAG. THE	FENCE, IN-GROUND POOL, OR HOME A CALL AT (800) 272-1000 TO REQUEST ARE UNDERGROUND. IT IS BEFORE YOU DIG. THE STATE YOU CALL "BEFORE" YOU DIG WHERE THE UNDERGROUND AS WATER, GAS, ELECTRIC, THE SERVICES ARE	DDITION, YOU MUST CALL NEW JERSEY ONE A MARK OUT OF THE UTILITY SERVICES THAT RECOMMENDED THAT YOU CALL 3 DAYS OF NEW JERSEY REQUIRES THAT SO THAT YOU CAN IDENTIFY UTILITIES ARE LOCATES (SUCH PHONE, CABLE, ETC.) ONCE "MARKED OUT", YOU CAN DIG
	ONE CALL	PROFESSIONAL DO THE RESPONSIBLE TO SERVICES ARE MARKED NEW JERSEY WORK FOR YOU, THEY ARE CONTACT ONE CALL. UTILITY OUT WITH PAINT OR A FLAG. THE		1
PROFESSIONAL DO THE RESPONSIBLE TO SERVICES ARE MARKED FOLLOWING LIST WILL HAS PERFORMED A MARK	HAS PERFORMED A MARK OUT:		ELECTRIC=RED, GAS/OIL=YELLOW, BLUE, SEWER=GREEN, TEMPORARY EXCAVATION=WHITE	COMMUNICATION TV=ORANGE, WATER= SURVEY MARKINGS=MAGENTA, PROPOSED

LANDSCAPING NOTES

- I. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND
- 3 INCH LAYER OF MULCH.



						BOROUGH, COUNTY, & SCD RESUBMISSION	BOROUGH, COUNTY, & SCD SUBMISSION	REDEVELOPMENT COMMITTEE	DESCRIPTION
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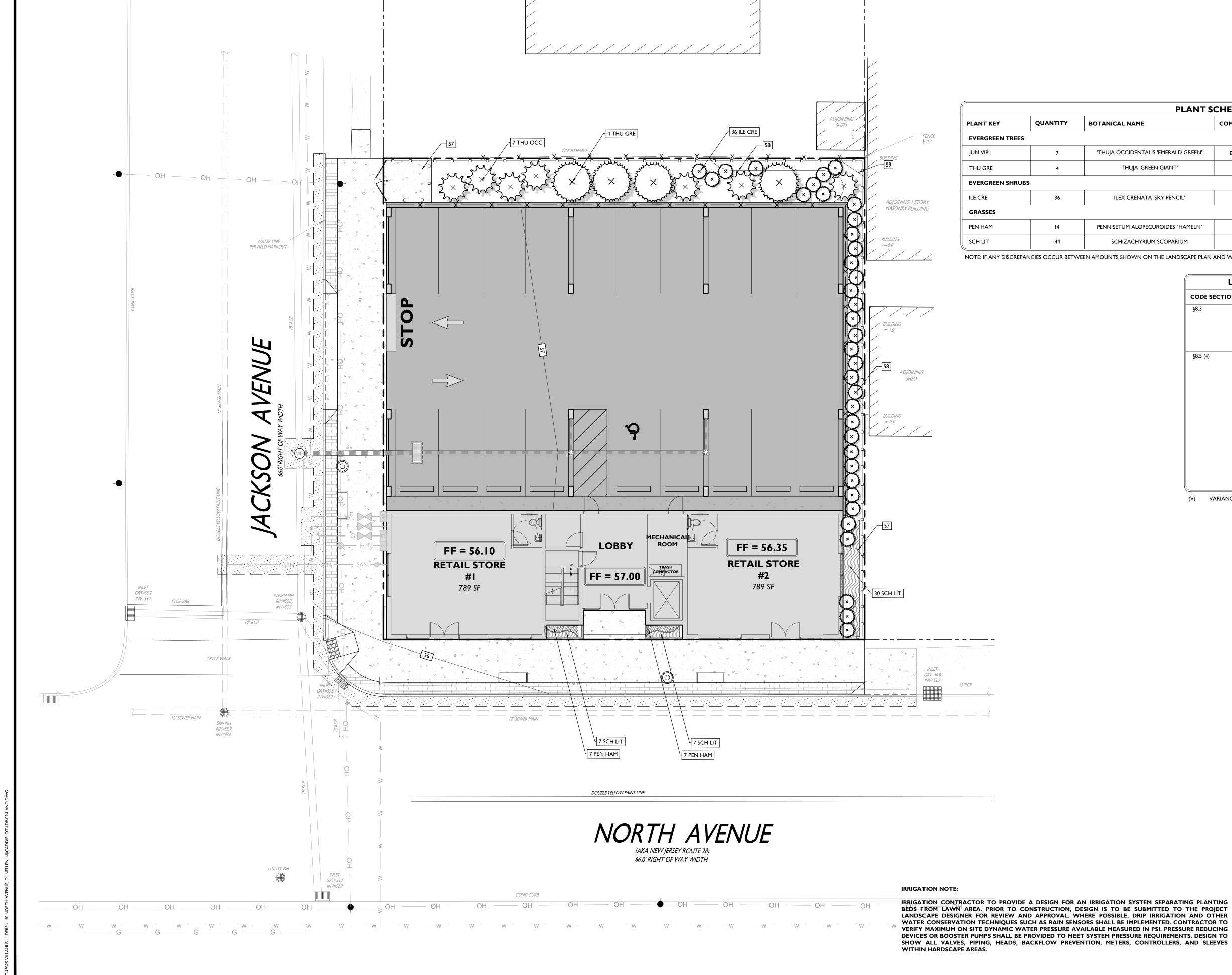
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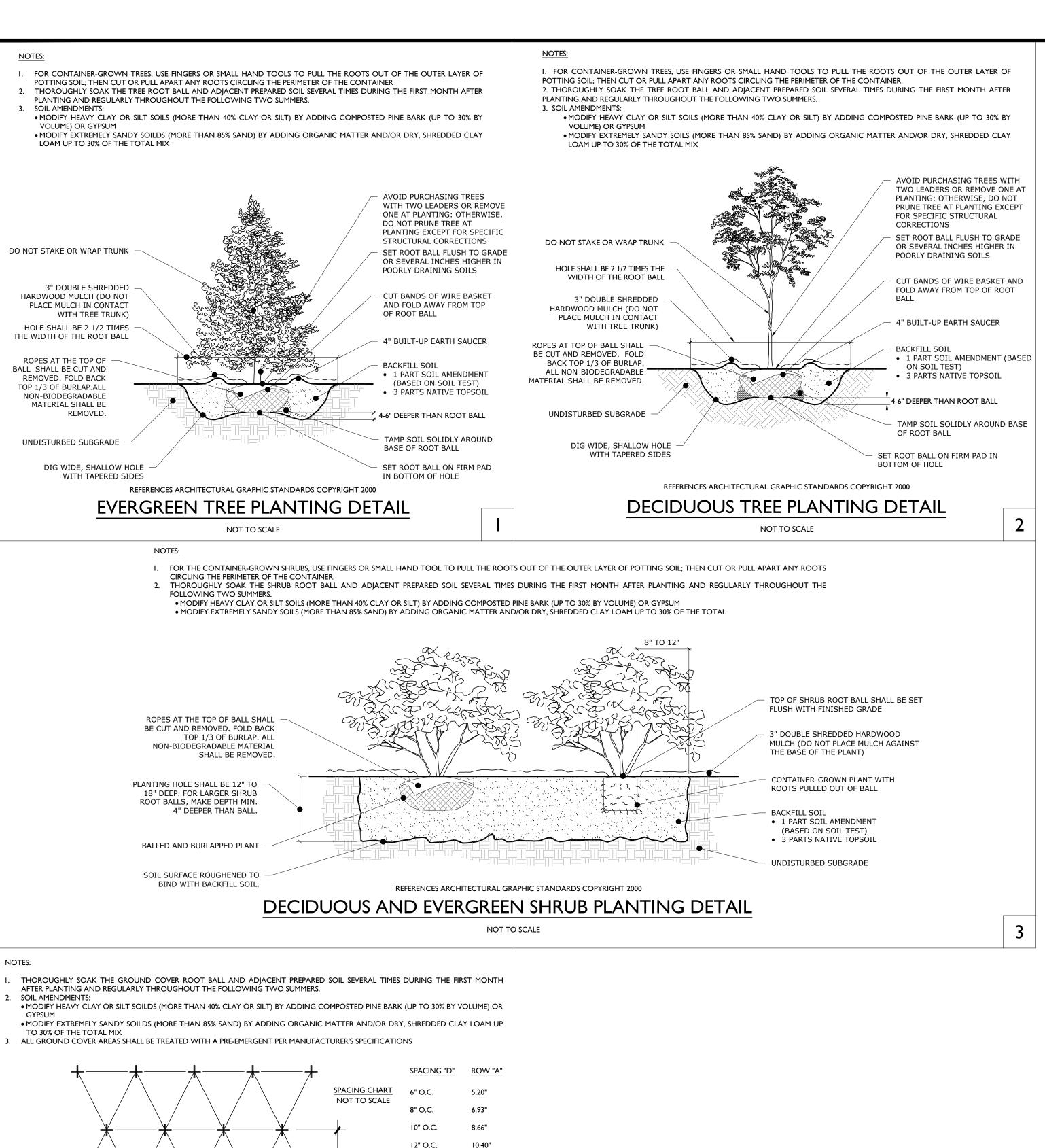
MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 48731 LICENSED PROFESSIONAL ENGINEER



I" = 10' PROJECT ID: T-19325

LANDSCAPING PLAN





13.00

20.80'

30.00

2" DOUBLE

SHREDDED

PLANT) GENTLY PULL ROOTS AWAY FROM TOPSOIL MASS WITH

 1 PART SOIL AMENDMENT (BASED ON SOIL TEST)

3 PARTS NATIVE TOPSOIL

FINGERS

BACKFILL SOIL

HARDWOOD MUI CH (DO NOT PLACE MULCH AGAINST THE BASE OF THE

PLANTED ON CENTER (SEE SPACING CHART

GROUND COVER/PERENNIAL/ANNUAL

PLANTING DETAIL

GENERAL LANDSCAPING NOTES

- I. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE I. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- . WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- 3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL,
- 4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
- 5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING
- VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL 6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES

- . BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION
- 9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING 2. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT. 3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE
- WORK SHALL BE PERFORMED AS FOLLOWS: • TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO
- THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE. RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY FARTH FILL IS PLACED. NEW FARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED.

IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."

 LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- I. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS
- (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS

2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES

- MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
- MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. . TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL
- MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
- 4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT 5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROIECT SITE
- 6. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- . UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS
- REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN. 9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE
- PROIECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO
- INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE II. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND
- ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING. 13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR
- EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE. 14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN

PRODUCT AND PLANT MATERIAL `5. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

- MYCRO® TREE SAVER A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA. TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS
- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION. MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL. WHICH REQUIRE ERICOID MYCORRHIZAE.
- SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
- FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION. • OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL
- DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

• FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS. • TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT I TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

PLANT QUALITY AND HANDLING NOTES

- REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. 2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER
- COMMON NAMES. 3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN
- THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND. HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- 4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (I-I/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE
- 5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY
- TAGGED WITH THE PROPER NAME AND SIZE. 6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- 7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO encompass the fibrous root feeding systems necessary for the healthy development of the plant. No plant SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- 8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS securely fastened to the body of the vehicle to prevent iniury to the plants. Closed vehicles shall be ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- 10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN possible. The root ball shall be kept moist at all time and covered with moistened mulch or aged WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS HALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING,
- AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE. II. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL. 12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY
- DISEASED OR INIURED PLANTS SHALL BE REMOVED. 13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
- 14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2") ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR
- 15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS: PLANTS (MARCH 15 - DECEMBER 15)
- LAWNS (MARCH 15 JUNE 15 OR SEPTEMBER 1 DECEMBER 1) 16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15)

ANTING SEFTEMBER 13).		
SIES CONCOLOR	CORNUS VARIETIES	OSTRYA VIRGINIANA
CER BUERGERIANUM	CRATAEGUS VARIETIES	PINUS NIGRA
CER FREEMANII	CUPRESSOCYPARIS LEYLANDII	PLATANUS VARIETIES
CER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
CER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
TULA VARIETIES	ILEX X FOSTERII	PYRUS VARIETIES
ARPINUS VARIETIES	ILEX NELLIE STEVENS	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
DRUS DEODARA	ILEX OPACA	SALIX WEEPING VARIETIES
LTIS VARIETIES	JUNIPERUS VIRGINIANA	SORBUS VARIETIES
RCIDIPHYLLIM VARIETIES	KOELBELITERIA PANICLII ATA	TAYODII IM VARIETIES

CERCIS CANADENSIS LIQUIDAMBAR VARIETIES TAXUX B REPANDENS **CORNUS VARIETIES** LIRIODENDRON VARIETIES TILIA TOMENTOSA VARIETIES **CRATAEGUS VARIETIES** MALUS IN LEAF **ULMUS PARVIFOLIA VARIETIES** NYSSA SYLVATICA ZELKOVA VARIETIES

17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.

18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY

AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED. 19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.

- 20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED. 21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR DTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALI REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- 2. Mow all grass areas at regular intervals to keep the grass height from exceeding three inches (3"). Mowing SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
- 23. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND
- 24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE
- CONTRACT SHALL BE ESTABLISHED. 25 LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROLIGHOLIT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
- 26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL. 27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND

PLANT MATERIAL GUARANTEE NOTES

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (I YR.) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE
- I. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS. 3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL
- AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER. 4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- I. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS. L SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND
- WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."
- 3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD.
- 4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION.'
- 5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

						BOROUGH, COUNTY, & SCD RESUBMISSION	BOROUGH, COUNTY, & SCD SUBMISSION	REDEVELOPMENT COMMITTEE	DESCRIPTION
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						09/04/2020	07/13/2020	04/27/2020	DATE
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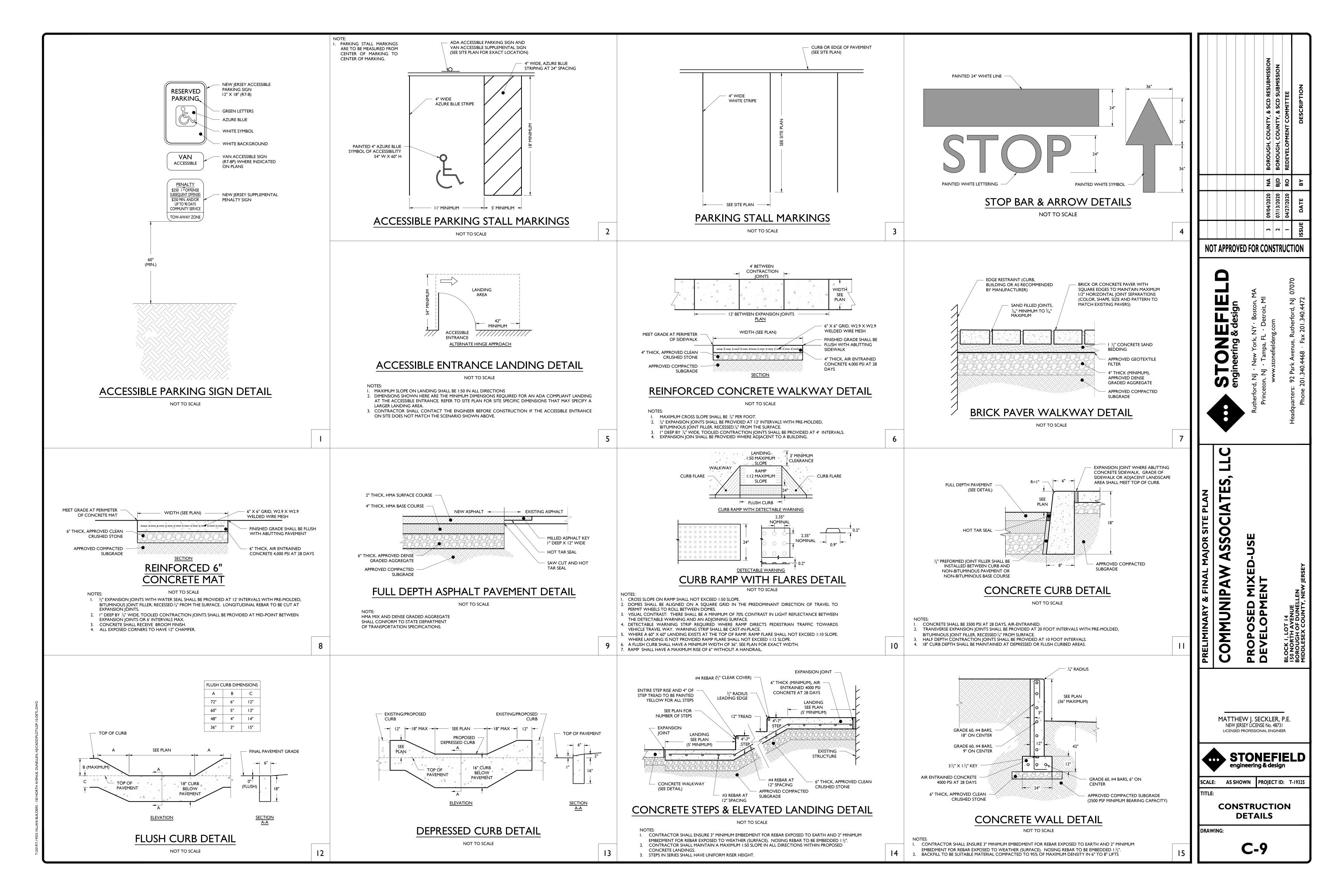
MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 48731

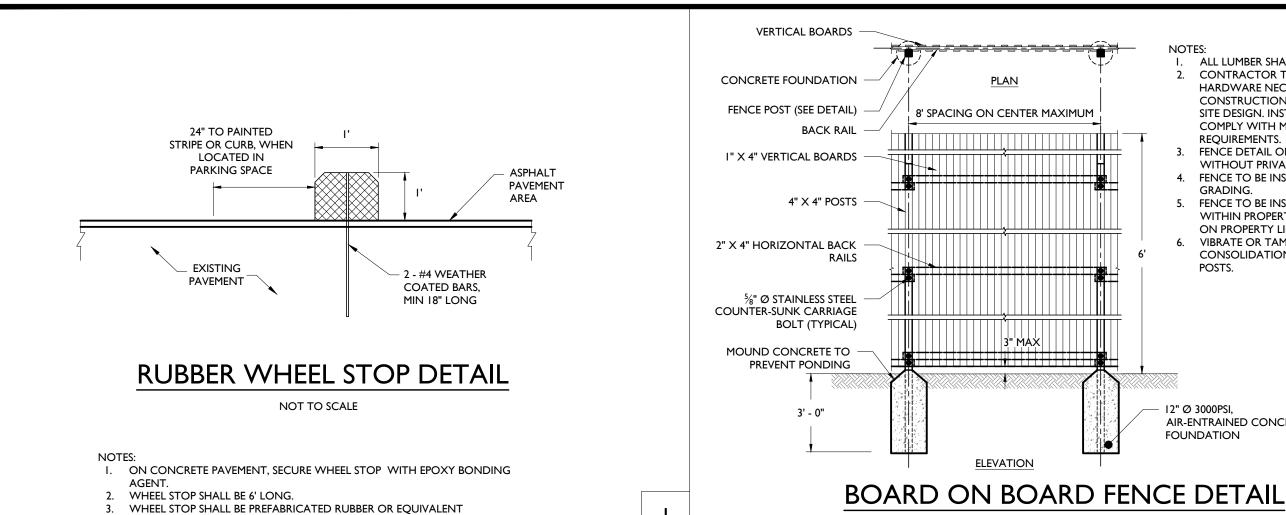


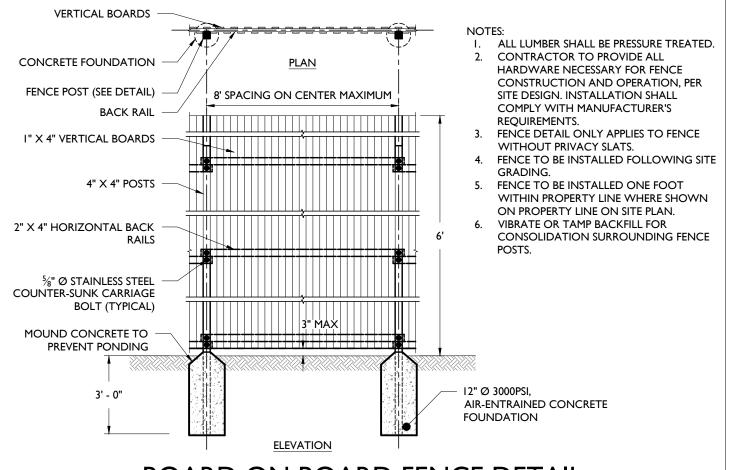
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SCALE: AS SHOWN PROJECT ID: T-19325

LANDSCAPING DETAILS







NOT TO SCALE

PAVEMENT SURFACE DEPTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT CLASS B THIS FACE MAY BE CONSTRUCTED ON SAME BATTER AS UPPER FACE WHEN CURB IS CONSTRUCTED ADJACENT - 1/2 " PREFORMED EXPANSION JOINT FILLER, BITUMINOUS TYPE, TO BE INSTALLED BETWEEN CURB AND CONCRETE PAVEMENT OR CONCRETE BASE COURSE.

JOINT SEALER

NJDOT 9"X16" CONCRETE / WHITE CONCRETE VERTICAL CURB

(FOR USE WITHIN NIDOT ROW) NOT TO SCALE

TRANSVERSE IOINTS 1/2 " WIDE SHALL BE INSTALLED IN THE CURB 20 FEET APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF

PAVEMENT

NJDOT METHOD OF DEPRESSING

CURB AT DRIVEWAYS

(FOR USE WITHIN NJDOT ROW)

NOT TO SCALE

SURFACE

SECTION B-B

TOP OF CURB

PAVEMENT

SURFACE

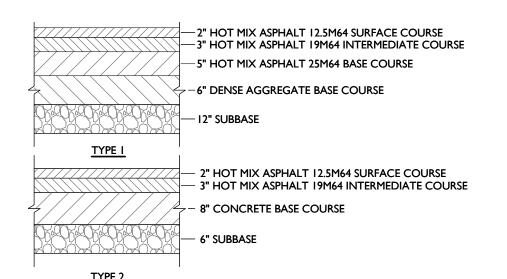
SIZE

CURB DIM. DIM. DIM.

9" x 16" | 16" | 4" | 14" | 2"

9" x 18" | 18" | 6" | 16" | 4"

EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.



NIDOT PAVEMENT SECTION AND REPAIR STRIP DETAIL

(FOR USE WITHIN NJDOT ROW) NOT TO SCALE

FOR AREAS 5.0 FEET OR MORE IN WIDTH, USE TYPE I. FOR AREAS LESS THAN 5.0 FEET IN WIDTH WHEN PROPER ASPHALT COMPACTION IS NOT POSSIBLE, USE TYPE 2. 3. IF PAVEMENT CONSTRUCTION ENCROACHES ON EXISTING TRAVEL LANES, THE ENTIRE LANE SHALL BE MILLED AND RESURFACED.

4. FOR MILLING AND RESURFACING, USE HOT MIX ASPHALT 12.5 ME SURFACE COURSE, 2" THICK.

5. SAW CUT PAVEMENT PRIOR TO EXCAVATION. UNDERCUT SOFT SUBGRADE AREAS AND REPLACE WITH ADDITIONAL DENSE GRADED AGGREGATE BASE COARSE. UNIFORMLY SPRAY TACK COAT WHEN PLACING HOT MIX ASPHALT ON PAVED SURFACE. 8. USE POLYMERIZED JOINT ADHESIVE FOR LONGITUDINAL JOINT OF THE NEW SURFACE COARSE WITH EXISTING HOT

MIX ASPHALT, CURB, OR ANY VERTICAL SURFACE ALONG THE NEW SURFACE. 9. EXISTING CONCRETE PAVEMENT SHOULD BE REPAIRED IN KIND FOR FULL WIDTH OF LANE IN ACCORDANCE WITH THE STANDARD DETAIL CD-453.

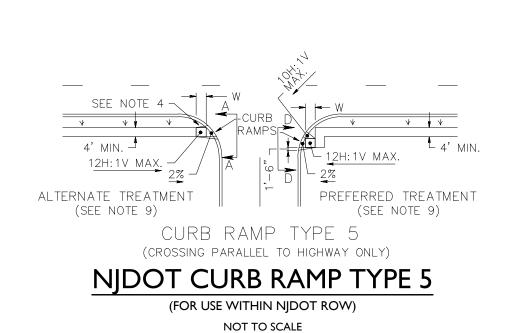
10. DENSE GRADED AGGREGATE BASE COARSE AND SUBBASE SHOULD EXTEND A MINIMUM OF 3" BEYOND THE OUTER EDGE OF THE PROPOSED CURB. II. REPAIR ANY ASPHALT PAVEMENTS, WHICH EXHIBIT HIGH SEVERITY CRACKING, POTHOLES, OR OTHER DAMAGE IN

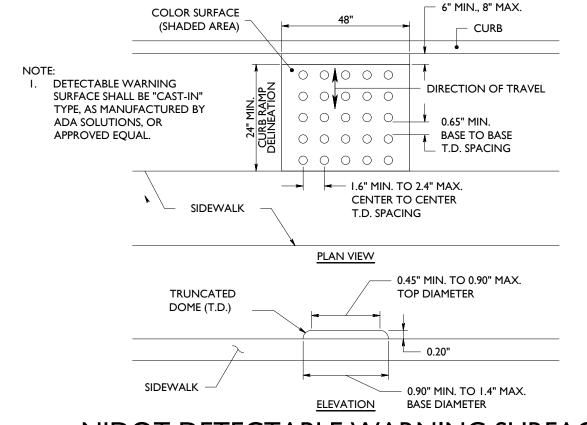
ACCORDANCE WITH 401.03.01.D OF 2007 NJDOT SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION (ITEM NO.

12. IF ANY PAVEMENT CONSTRUCTION (WIDENING, NEW/RESETTING CURB ETC.) ENCROACH AN EXISTING TRAVEL LANE, THEN MILL 2" OF EXISTING PAVEMENT AND RESURFACE WITH 2" THICK HOT MIX ASPHALT 12.5ME SURFACE COURSE THE FULL WIDTH OF THAT TRAVEL LANE ALONG NEW CONSTRUCTION WITHOUT ANY JOINTS.

13. UNDERCUT SOFT SUBGRADE AREAS AND REPLACE WITH ADDITIONAL SUBBASE WHERE THE WATER TABLE IS NOT ENCOUNTERED WITHIN THE DEPTH OF EXCAVATION. 14. SHOULD THE EXISTING CORE THICKNESS SHOW ASPHALT DEPTH LESS THAN 8", THIS PAVEMENT SECTION SHALL BE

15. CONTRACTOR TO EXCAVATE AND REPLACE ANY UNSTABLE MATERIAL WITH SUBBASE.





NIDOT DETECTABLE WARNING SURFACE

(FOR USE WITHIN NJDOT ROW)

NOT TO SCALE

NOT TO SCALE

10

Luminaire Detail JAZ HADCO Scale 1:16 17.74 ---Lamping & Reflector Detail <u>NOTICE:</u> THIS DRAWING IS FOR REFERENCE DNLY. CHECK FOR LATEST REVISIO PRIOR TO ORDERING >pecitication Prawing (Complete Assembly) C/C PART # DESCRIPTION 05-3200 \$5824C-A Capitol, 100W HPS, T5, Black 04-1280 \$P5844-A Classic I Pole, 12', Black O PSEC

PHILIP\$

HADCO

100 Craftway P.O. Box 128 ittlestown, Pennsylvania 17340-01 Phone 717-359-7131 Fax 717-359-9515 www.hadco.com

REP. TERRITORY: DRAWN BY:

52 SMK

C6025-DWG01

Dave Murphy & Assoc

REV: **A** PCN: **09-080**

08/20/09

BOROUGH OF DUNELLEN STREET LIGHT DETAIL

NOT TO SCALE

16.00

6 FT. RECYCLED PLASTIC HERITAGE BACKLESS BENCH (GRAY SLATS/BLACK FRAME) BY FROG FURNISHINGS, INC. BENCH DETAIL N.T.S. BOROUGH OF DUNELLEN BENCH DETAIL

ASSOCIATE COMMUNIPAW

PROPOSED DEVELOPME

NOT APPROVED FOR CONSTRUCTION

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MATTHEW J. SECKLER, P.E. NEW JERSEY LICENSE No. 4873 I LICENSED PROFESSIONAL ENGINEER



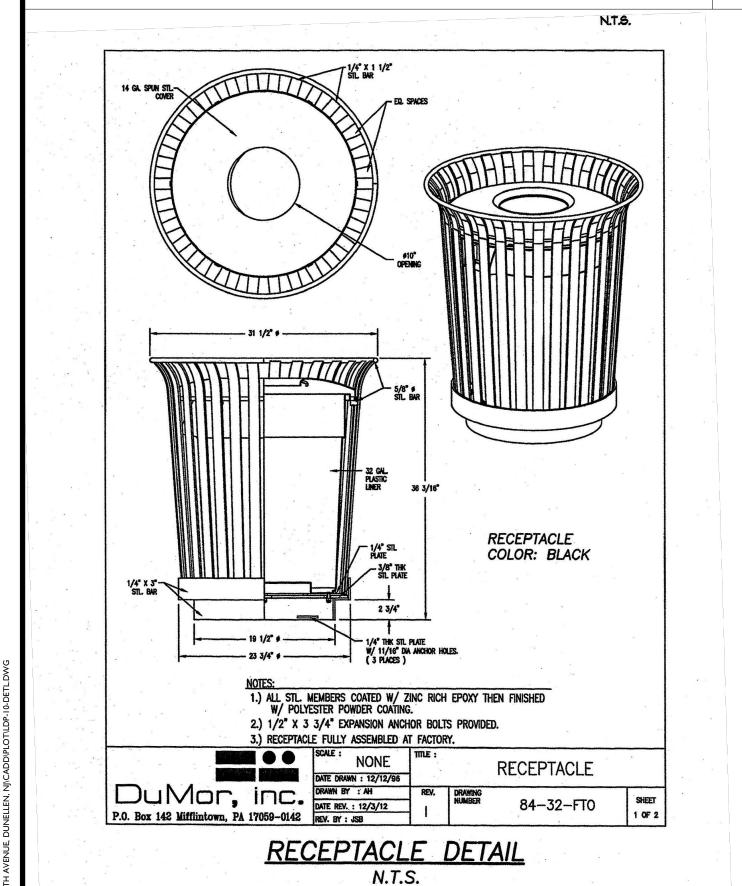
SCALE: AS SHOWN PROJECT ID: T-19325

CONSTRUCTION

DRAWING:

C-10

DETAILS



BOROUGH OF DUNELLEN TRASH RECEPTACLE DETAIL

NOT TO SCALE

